



Board of Adjustment Staff Report

Meeting Date: February 03, 2022

Agenda Item: 8D

SPECIAL USE PERMIT CASE NUMBER: WSUP21-0034 (Washoe County Field Creek Water Truck Effluent Fill Station)

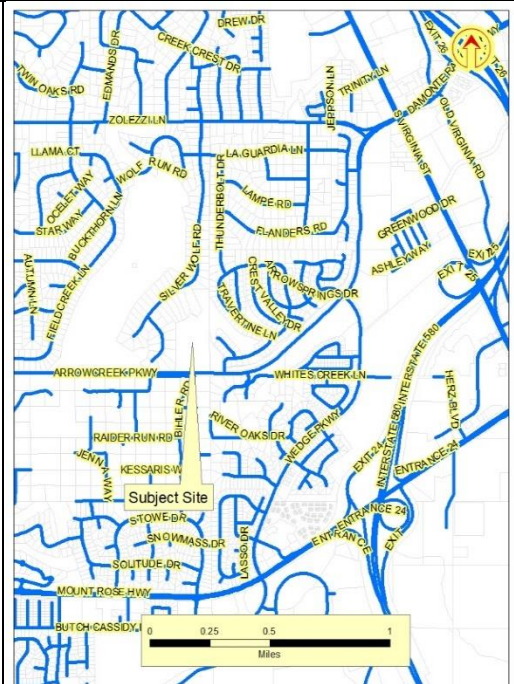
BRIEF SUMMARY OF REQUEST: Construction and operation of a water truck fill station

STAFF PLANNER: Roger Pelham, MPA, Senior Planner
Phone Number: 775.328.3622
Email: rpelham@washoecounty.gov

CASE DESCRIPTION

Special Use Permit Case Number WSUP21-0034 (Washoe County Field Creek Water Truck Effluent Fill Station) – For hearing, discussion and possible action to approve a special use permit to allow the construction and operation of a water truck fill station (Utility Services Use Type) and a related request to reduce the landscaping required for a Civic use type by Article 412, Landscaping, of the Washoe County Development Code.

- Applicant: Washoe County CSD, Utilities Services Division, attn: Dylan Menes
- Property Owner: Washoe County CSD, Utilities Services Division, attn: Dwayne Smith
- Location: On the north side of Arrowcreek Parkway, approximately 600 feet west of its intersection with Tremolite Drive
- APN: 142-020-06
- Parcel Size: ± 24.488 Acres
- Master Plan: Suburban Residential (SR)
- Regulatory Zone: Public and Semi-Public Facilities (PSP)
- Area Plan: Southwest Truckee Meadows
- Development Code: Authorized in Article 810, Special Use Permits
- District: 2 – Commissioner Lucey



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0034 for Washoe County Community Services Department, Utilities Services Division, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30

(Motion with Findings on Page 10)

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Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

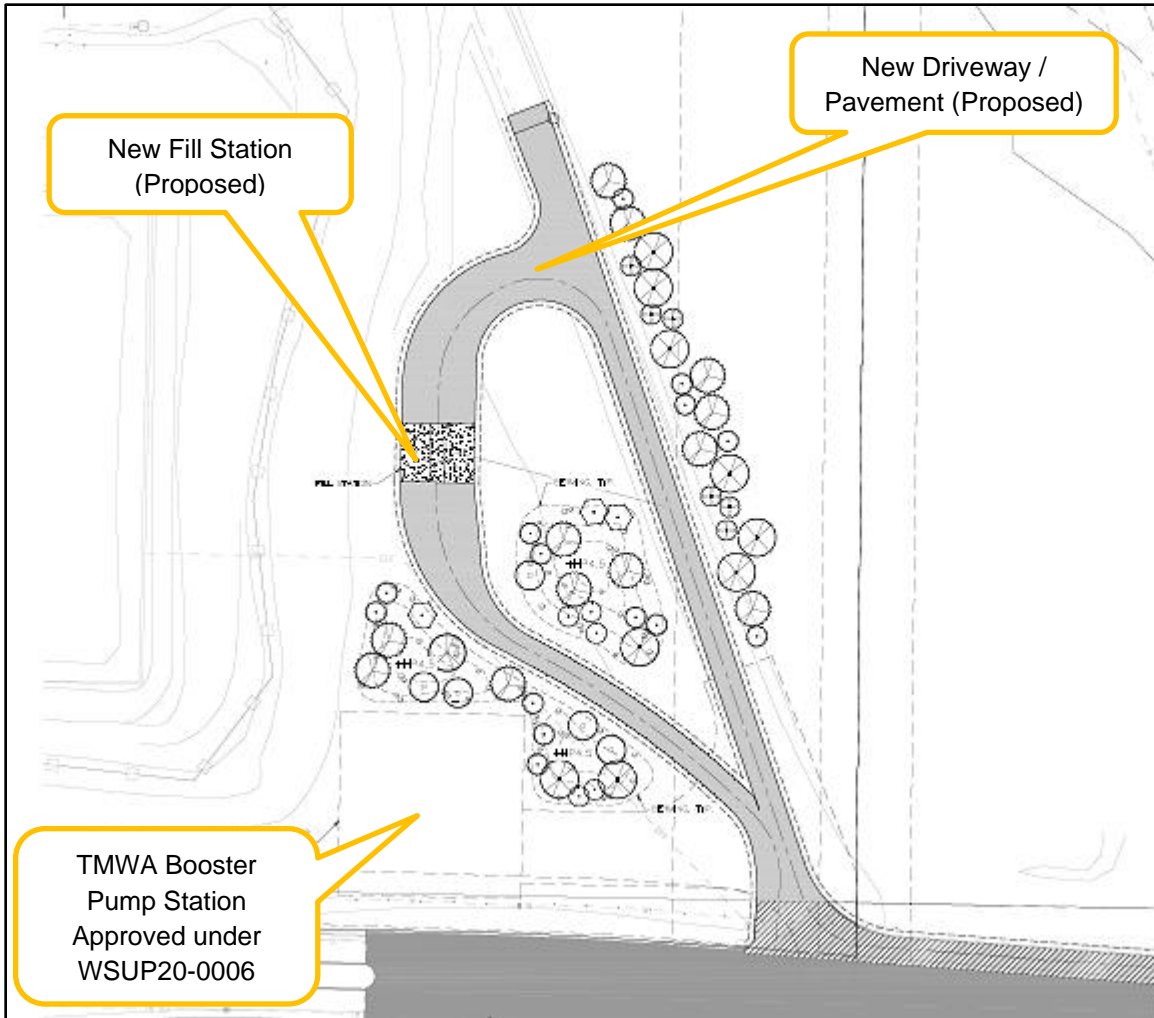
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP21-0034 are attached to this staff report and will be included with the action order.

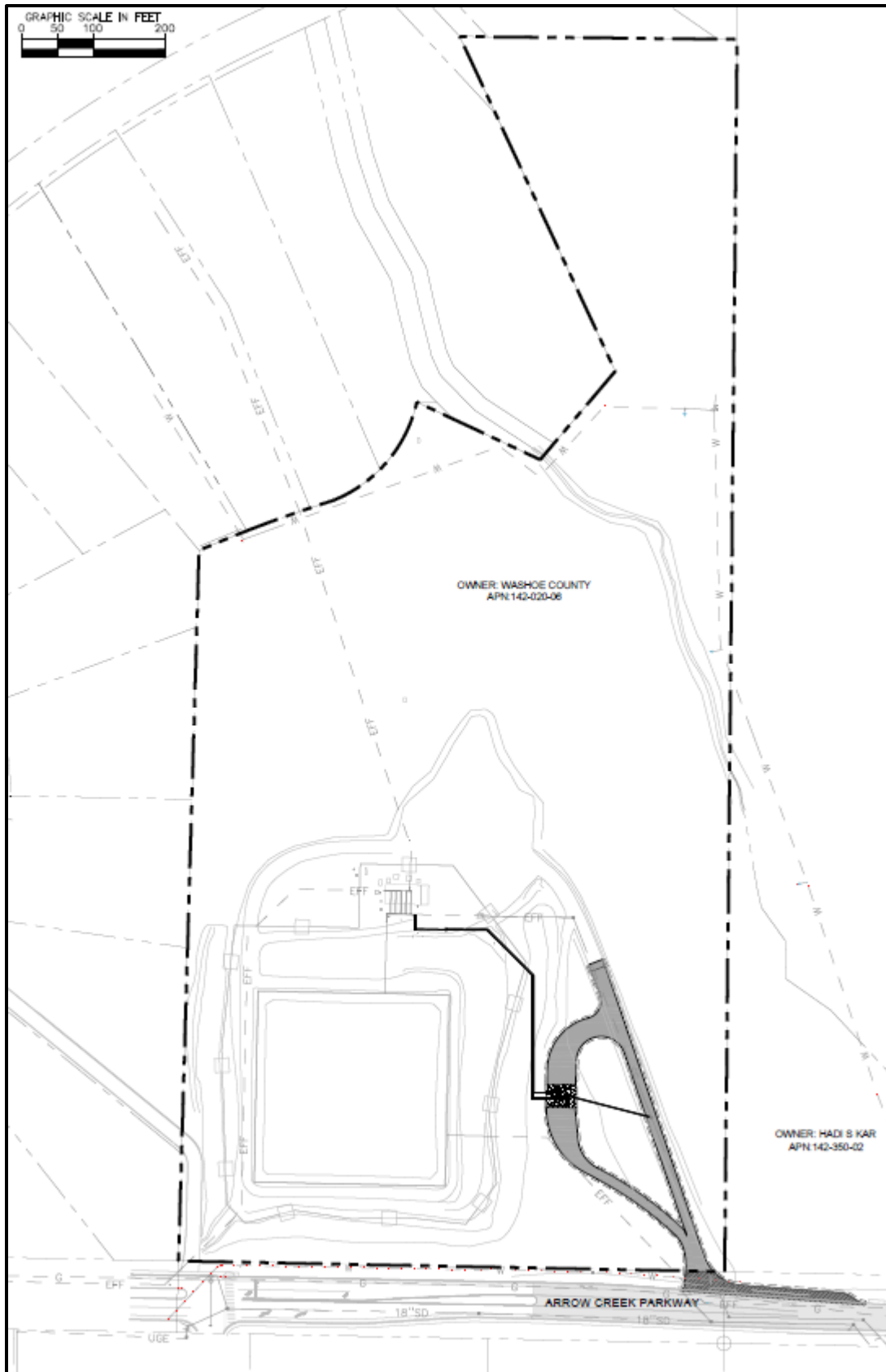
The subject property is designated as Public and Semi Public Facilities (PSP). The proposed use of a water truck effluent fill station which is classified as Utility Services Use Type, which is permissible in PSP with approval of a special use permit per WCC Table 110.302.05.2. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.

Additionally, Article 810, Special Use Permits, allows the Board of Adjustment to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). The Board of Adjustment will be ruling on the request(s) to vary standards below:

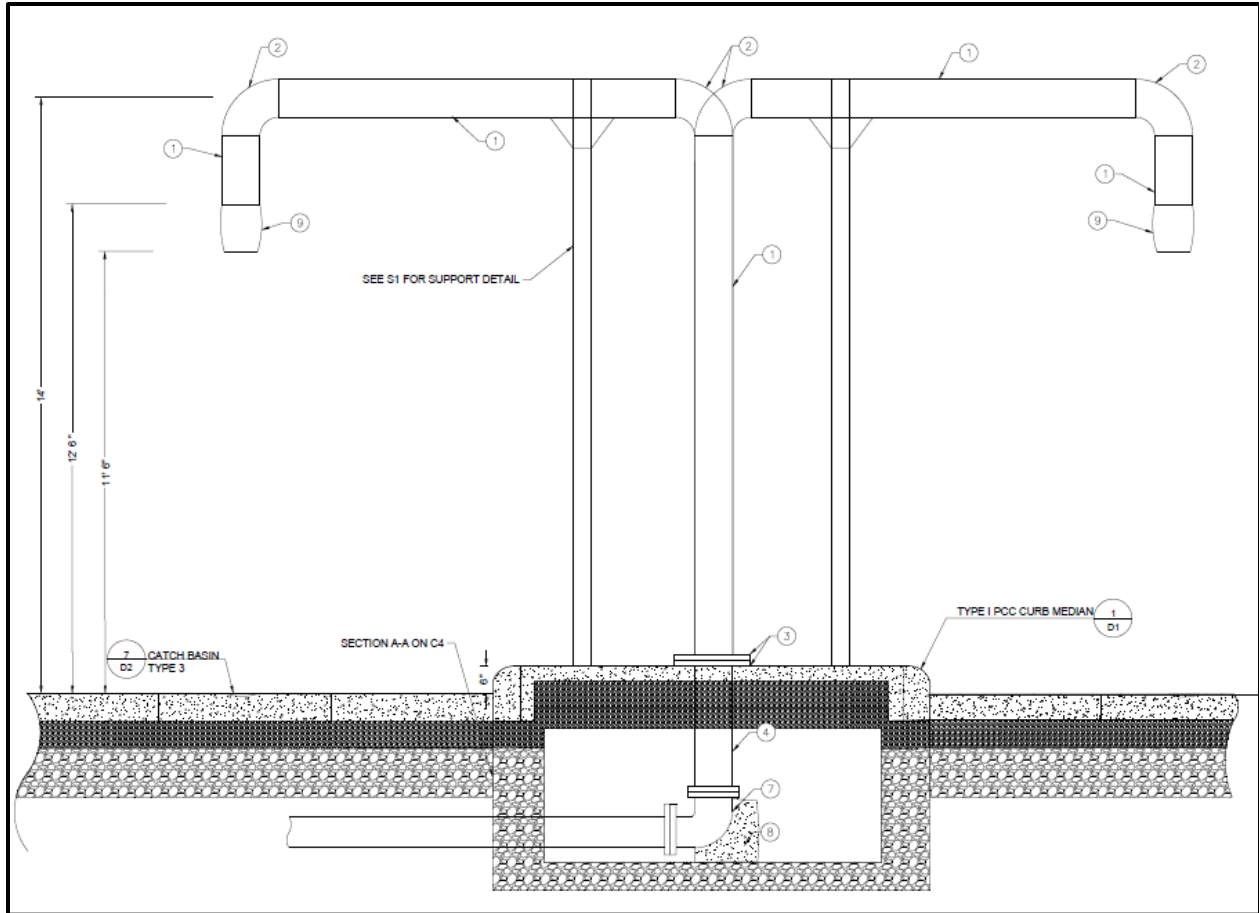
Variance(s) Requested	Relevant Code
Elimination of required buffering with residential uses	110.412.40(c)



Detail Site Plan



Overall Site Plan



Fill Station Proposed Elevation

Project Evaluation

The subject site consists of a large parcel of land with an existing effluent reservoir and there will be a booster pump station construction in the very near future (building permits have already been issued). Both of these are utility services use types, per section 110.304.20(j)(1) of the Washoe County Code. The applicant is requesting approval of a third utility services use type on the subject site. That is a water truck fill station, which allows water trucks to use treated effluent water for dust control on construction sites and other similar uses.

The improvements required for the facility include overhead pipes, as shown on page 5 of this report as well as paved driveway areas. There are residential uses on all sides of the subject parcel. This is a relatively low-intensity use as the facility will be utilized primarily during daylight hours and primarily during the summer months. For this reason, few substantial impacts are anticipated. However, the standard Code requirements for the buffering of a civic use type, such as this, with the surrounding residential uses includes the construction of a solid wall or fence and a landscape buffer around the entire length of the common property lines. Standard Code requirements would result in a minimum of approximately 1.7 acres (±74,745 square feet) of landscaping and approximately 222 trees. The required setback area of both the eastern and western property lines (15 feet in width) as well as the rear (northern) setback area (20 feet in width) are required to be landscaped and one tree is required every 20 linear feet. The applicant has requested that these standards be waived by the Board. The applicant is proposing approximately 17,250 square feet of landscape area and installation of 55 trees. Staff is generally in favor of reducing the overall required landscaping as the facility itself is proposed to take up a relatively small part of the overall site. Staff recommendation includes, and conditions of approval have been included with the recommendation that the plans as submitted are generally acceptable with the addition of 22 evergreen trees to the east of the proposed facility. The 22 trees proposed represent 10% of the trees otherwise required. The eastern property line, is in the closest proximity to adjacent residences.

Other possible impacts include unauthorized access to the remaining undeveloped part of the subject site, by motor vehicles. For this reason, staff has included recommended conditions of approval to require boulders, bollards, or other barriers acceptable to the Director of Planning and Building, to be placed around the perimeter of the proposed driveway area to inhibit vehicular access to the remainder of the site. Likewise, conditions of approval to require a gate at the north end of the driveway have been included.

With the conditions of approval, as included with this report, staff is in support of approval.

Area Plan Evaluation

The subject parcel is located within the Southwest Truckee Meadows Area Plan. There are no particularly pertinent policies from the Area Plan.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agency	Sent to Review	Responded	Provided Conditions	Contact
Nevada Div. of Wildlife	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Building & Safety	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Parks & Open Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Washoe County Water Rights	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Timber Weiss tweiss@washoecounty.gov
Washoe County Sherriff	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WCHD – Air Quality	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
WCHD – Environment Health	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WCHD- EMS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Truckee Meadows Fire Protection District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Brittany Lemon blemon@tmfpd.us
RTC Washoe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe Storey Conservation District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Washoe Tribe of Nevada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.

Staff Comment: The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and there are no particularly relevant Southwest Truckee Meadows Area Plan modifiers.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Subject to compliance with the recommended conditions of approval, adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination can be made in accordance with Division Seven

3. **Site Suitability.** That the site is physically suitable for a water truck fill station (Utility Services Use Type), and for the intensity of such a development.

Staff Comment: There are two Utility Services Use Type installations on the subject site at this time, the site is suitable for the addition of a water truck fill station.

4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Subject to compliance with the recommended conditions of approval, issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: *There is no military installation within the required noticing distance surrounding this project, therefore there can be no detrimental effect.*

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP21-0034 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP21-0034 for Washoe County Community Services Department, Utilities Services Division, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a water truck fill station (Utility Services Use Type), and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Washoe County CSD, Utilities Services Division., Dylan Menes,
Email: dmenes@washoecounty.gov

Property Owner: Washoe County CSD, Utilities Services Division., Dwayne Smith,
Email: desmith@washoecounty.gov

Consultant: Kimley Horn and Associates., Attn: Christian Heinbaugh
7900 Rancharrah Parkway, Suite 100
Reno, NV 89511



Conditions of Approval

Special Use Permit Case Number WSUP21-0034

The project approved under Special Use Permit Case Number WSUP21-0034 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 3, 2022. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, Senior Planner, 775.328.3622, rpelham@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. In addition to the landscaping shown on the application materials the final plans shall include 22 additional evergreen trees to be located to the east of the water truck fill station.
- e. The plans shall include boulders (36" minimum diameter), bollards, or other barriers acceptable to the Director of Planning and Building, to be placed around the perimeter of the proposed driveway area to inhibit vehicular access to the remainder of the site. The distance between barriers shall be 48 inches or less.
- f. A gate shall be placed at the northern end of the proposed asphalt driveway. The gate shall remain locked such that vehicular access is granted only to authorized individuals.
- g. All disturbed areas shall be revegetated with a seed mix of native flora. Temporary irrigation shall be provided to all revegetated areas for a time period of not less than three years or until the disturbed areas have 70% vegetative coverage, whichever is greater.
- h. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to

review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

- iv. This special use permit shall remain in effect as long as the water truck fill station remains in operation.

Truckee Meadows Fire Protection District

2. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon, 775.326.6079, blemon@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>

Washoe County Engineering

3. The following condition is a requirement of the Washoe County Engineering Division, which shall be responsible for determining compliance with this condition.

Contact Name – Rob Wimer, P.E. (775) 328-2059, rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- c. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer.
- d. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
- e. An approved occupancy permit shall be obtained from the City of Reno, for access to, from, or under roads and highways maintained by the City of Reno and a copy of said permit sent to the Engineering Division.
- f. The minimum pavement structural section shall be five inches (5") of asphalt over six inches (6") of granular base for roadways with a right-of-way of one hundred feet (100') in width.
- g. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project

construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum if required.

- h. All regulatory traffic signs, pavement striping and markings shall meet County standards and the Manual on Uniform Traffic Control Devices.

*** End of Conditions ***

Exhibit B – WSUP21-0034

From: [Rosa, Genine](#)
To: [Pelham, Roger](#)
Subject: December Agency Review Memo II - Item #2 Revision
Date: Wednesday, December 22, 2021 9:52:57 AM

Special Use Permit Case Number WSUP21-0034 (Washoe County Field Creek Water Truck Effluent Fill Station)

Disturbance proposed is <1 acre and therefore no Dust Control Permit will be required, should the disturbance become 1 acre or greater a dust control permit would be required. Any disturbance still subject to dust regulations in [040.030](#). Visit www.OurCleanAir.com for more information.

P.S. – Please be sure to click the link below and sign up to receive air quality news, updates, public notices and more via e-mail.

Genine Rosa

Environmental Engineer II | Air Quality Management Division | Washoe County Health District
grosa@washoecounty.gov | O: (775) 784-7204 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512

*My schedule is 4 x 10's M-Th 7-5:30 off on Fridays.

www.OurCleanAir.com | [Subscribe to get Air Quality Updates!](#)

-



Please take our customer satisfaction survey by clicking [here](#)

From: [Kirschenman, Sophia](#)
To: [Pelham, Roger](#)
Subject: Parks Comments Re: WSUP21-0034
Date: Tuesday, December 28, 2021 7:48:47 AM
Attachments: Outlook-hascvam0.png
Outlook-blqnbv3j.png
Outlook-k3psx2cn.png
Outlook-oabbuaa0.png
Outlook-ea1rmw3a.png

Hi Roger,

I've reviewed WSUP21-0034 (Washoe County Field Creek Water Truck Effluent Fill Station) on behalf of Washoe County Regional Parks and Open Space and have no comments or conditions.

Thank you,



Sophia Kirschenman

Park Planner | Community Services Department

775-328.3623 | 1001 E. 9th Street, Reno, NV 89512



Exhibit B – WSUP21-0034



WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: December 22, 2021

To: Roger Pelham, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for *Washoe County Field Creek Water Truck Effluent Fill Station WSUP21-0034*
APN 142-020-06

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to add to the land use to provide a permanent truck fill station to allow for construction trucks use of reclaim water from this site and is located on approximately 0.99 acres in on the north side of Arrowcreek Parkway, west of Tremolite Drive. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Kimley-Horn and Associates. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the [contact](#) name provided.

GENERAL CONDITIONS

Contact Information: Rob Wimer, P.E. (775) 328-2059

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
3. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. No drainage related comments.



WWW.WASHOECOUNTY.US

Exhibit B – WSUP21-0034

Subject: *Washoe County Field Creek Water Truck Effluent Station WSUP21-0034*
Date: December 22, 2021
Page: 2

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink, P.E. (775) 328-2050

1. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
2. An approved occupancy permit shall be obtained from the City of Reno, for access to, from, or under roads and highways maintained by the City of Reno and a copy of said permit sent to the Engineering Division.
3. The minimum pavement structural section shall be five inches (5") of asphalt over six inches (6") of granular base for roadways with a right-of-way of one hundred feet (100') in width.
4. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum if required.
5. All regulatory traffic signs, pavement striping and markings shall meet County standards and the Manual on Uniform Traffic Control Devices.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No utilities related comments.

From: [Lemon, Brittany](#)
To: [Pelham, Roger](#)
Cc: [Way, Dale](#)
Subject: WSUP21-0034 (Washoe County Field Creek Water Truck Effluent Fill Station) Conditions of Approval
Date: Monday, December 20, 2021 3:08:58 PM
Attachments: [image001.png](#)

Hi Roger,

"This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply."

<https://tmfpd.us/fire-code/>

Thank you!

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

Exhibit B – WSUP21-0034



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

December 18, 2021

Washoe County Community Services Department

C/O Roger Pelham, Senior Planner

1001 E Ninth Street, Bldg A

Reno, NV 89512

R: WSUP21-0034 Washoe County Field Creek Water Truck

Dear Roger,

In reviewing the construction of a water tank fill station, the Conservation District has the following comments.

To prevent the spread of noxious weeds concerning grading and exportation of material, the applicant shall collaborate with the Conservation District to develop an onsite noxious weeds management plan to ensure weed seeds do not impact other areas, utilizing certified weed free material.

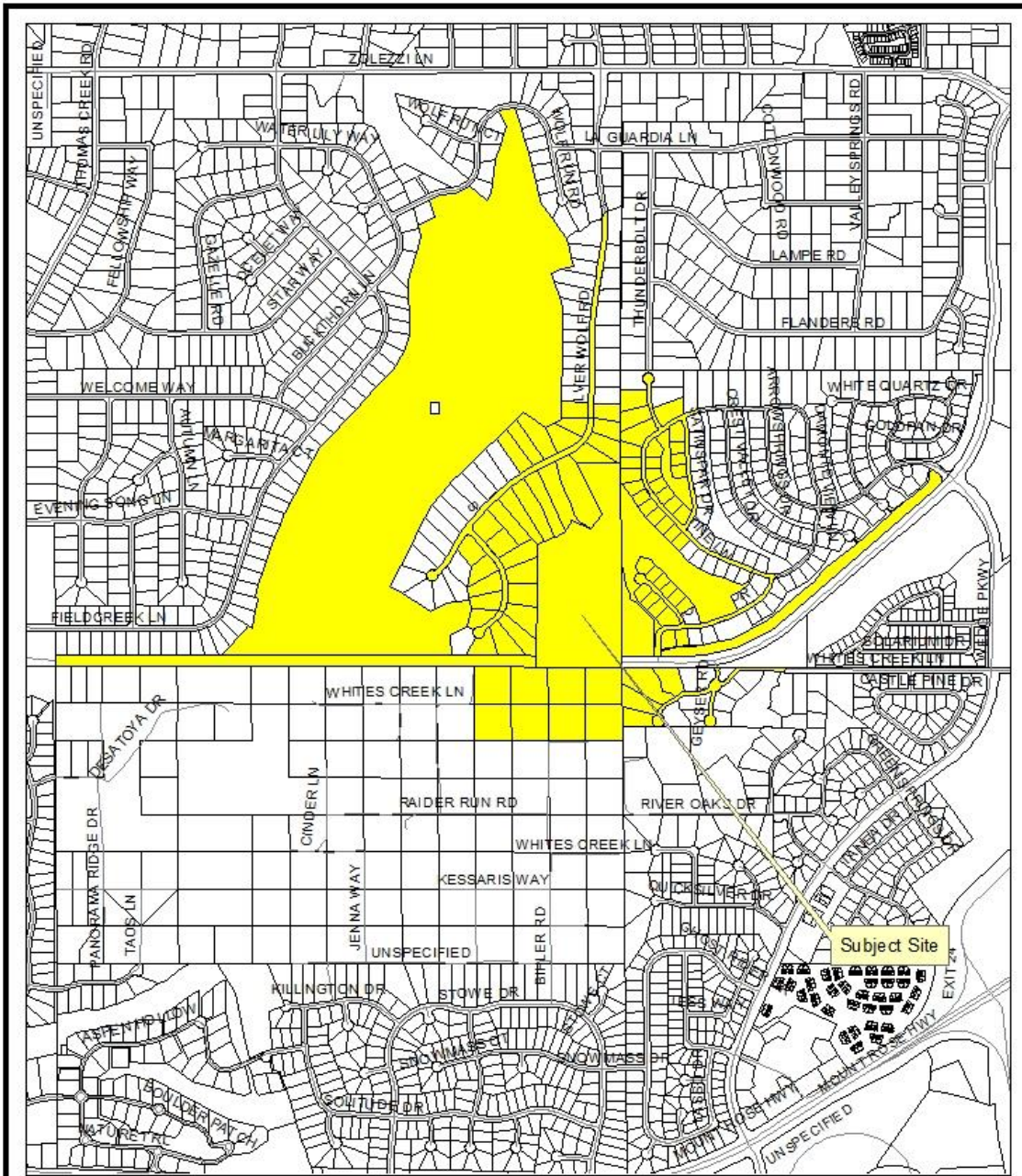
We will require a vegetation plan from a qualified professional that includes a seed mix based on the soil, contingency water plan, fertilizer plan, erosion control structures and a monitoring plan with updates provided to the Conservation District after the growing season (October 31) every year for a three-year period.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely,

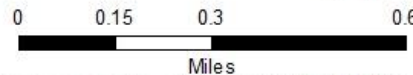
J Shaffer

Exhibit C – WSUP21-0034



Mailing and Vicinity Map

WSUP21-0034 Notice Map
94 parcels selected at 500 feet



Source: Planning and Building Division/Community Development Department/Arctiva/maps and mailing label/wp-map/WSUP21-0034_PublishDate:12/10/2021

Community Services
Department

WASHOE COUNTY
NEVADA

1001 E. Ninth St.
Reno, Nevada 89512 (775) 328-3800

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Washoe County Community Services Department

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, DWAYNE SMITH
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 142-020-06

Printed Name DWAYNE SMITH

Signed [Signature]

Address 1001 E. 9th ST. RENO NV 89511

Subscribed and sworn to before me this 8 day of December, 2021.

(Notary Stamp)

Lacey Kerfoot

Notary Public in and for said county and state

My commission expires: 01/27/2025



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Add a deceleration lane in the ROW and approximately 0.4 acres of pavement on the parcel to provide access for a new truck effluent water fill facility at the existing County reclaim water reservoir and pump station site. This project also requests a modification to vary land use standards to modify landscape requirements of

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)
residential buffering by providing for double the required landscaping of 20% of the parcel project area.

See plans for the site layout.

3. What is the intended phasing schedule for the construction and completion of the project?

This project is intended to be constructed in one phase in 2022.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The site is generally flat for truck access, adjacent to a collector roadway, and has existing effluent infrastructure and matches the existing use.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

This site will provide a local construction water truck-fill site that provides reclaimed water which will reduce the community need on precious potable water higher value uses than construction, and may also reduce truck traffic in some instances by bringing construction water access closer to where it is needed.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code

Two flood lights are specified and will include side shields and occupancy sensors to limit the time that they are on. Only small roadway, as required by MUTCD, and effluent warning signs, as required by NPED permit, are proposed. Landscaping has been developed to shield the minimal above grade improvements from the roadway and adjacent homes. This project is requesting a modification to the required residential landscape buffering. In lieu of one tree every twenty feet of parcel bordering residential parcels this project is providing an additional landscaping above the 20% requirement.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

NA

10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

To provide driveway access to and from the fill station pads and grading for fill station pads themselves.

2. How many cubic yards of material are you proposing to excavate on site?

2,500 +/- CY

3. How many square feet of surface of the property are you disturbing?

43,100 +/- SF including new landscaping.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

684 CY of import for driveway pavement section (AB and AC)

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes, the work associated with this project does not meet the requirements for a Special Use Permit for grading, see below.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

The existing project area is partially developed. Portions of the proposed grading have been done in accordance with the 1996/1997 SUPs that created the access driveway for the existing facility. The the grading plan was strategically developed to closely match existing grades and lie within the existing access way on site.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the disturbed area will be slightly visible from Arrowcreek Parkway south of the project area and will be constructed over the existing unpaved road; however the proposed grading is very close to the existing grading and will now be shielded by strategically located landscaping.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The proposed minor fill slope (1'+/-) adjacent to the driveway is 3:1 and there will be a silt fence installed prior to construction at the toe of slope. All existing inlets will be protected using BMPs.

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
-----	----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

N/A

13. What are you proposing for visual mitigation of the work?

The proposed work will be visually mitigated with strategic landscaping, brown paint matching existing infrastructure, and downcast shielded lights on occupancy sensors and access controls.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

No revegetation is proposed due to minimal disturbance to the site.

16. How are you providing temporary irrigation to the disturbed area?

Water trucks will be used by contractor to provide dust suppression. Permanent irrigation for landscape improvements included on the plans.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

N/A

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
-----	----	-------------------------------

FIELD CREEK EFFLUENT FILL STATION AND ARROWCREEK PARKWAY IMPROVEMENT PROJECT WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT PUBLIC WORK PROJECT NO. PWP-WA-2021-279

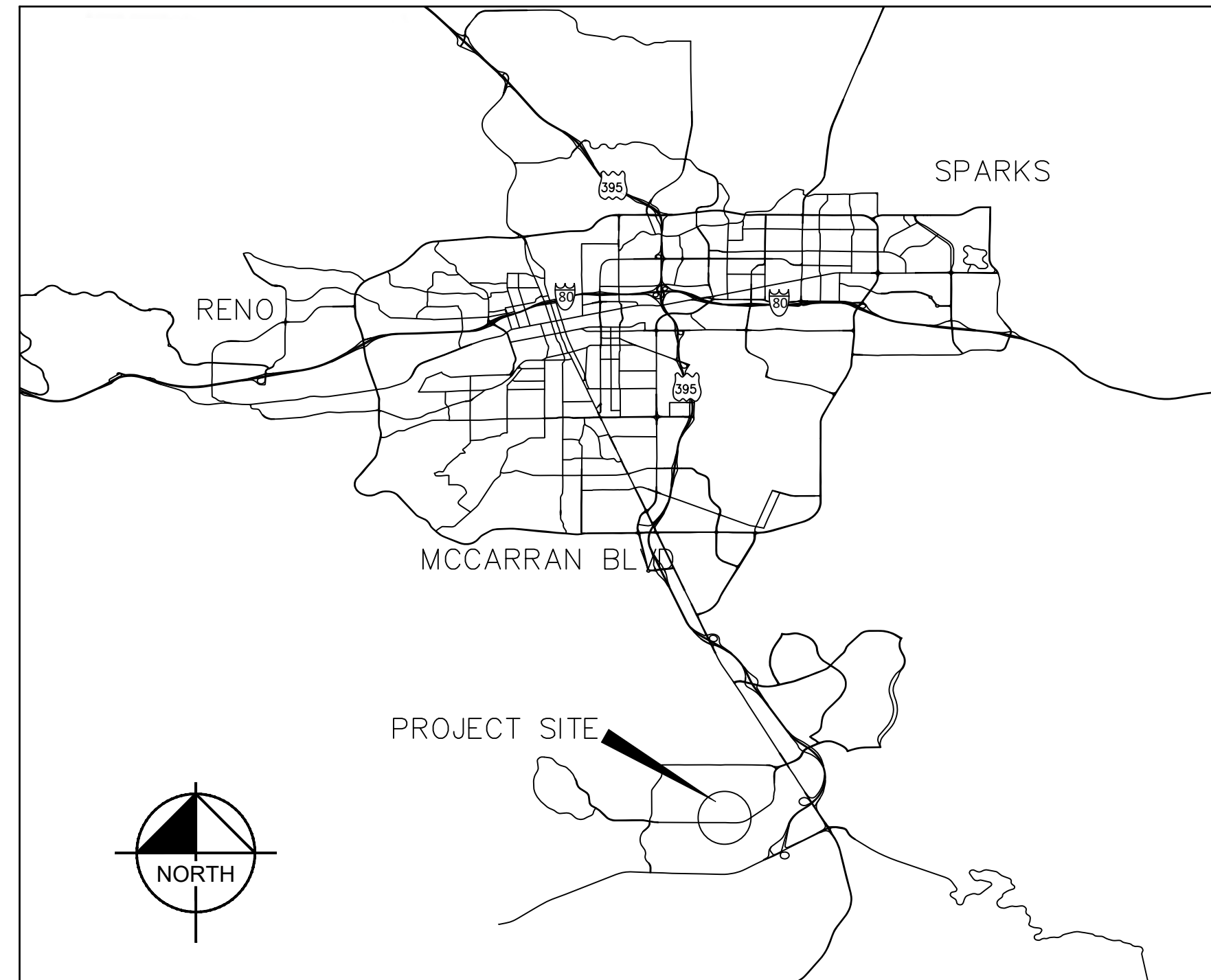
PROJECT CONTACTS



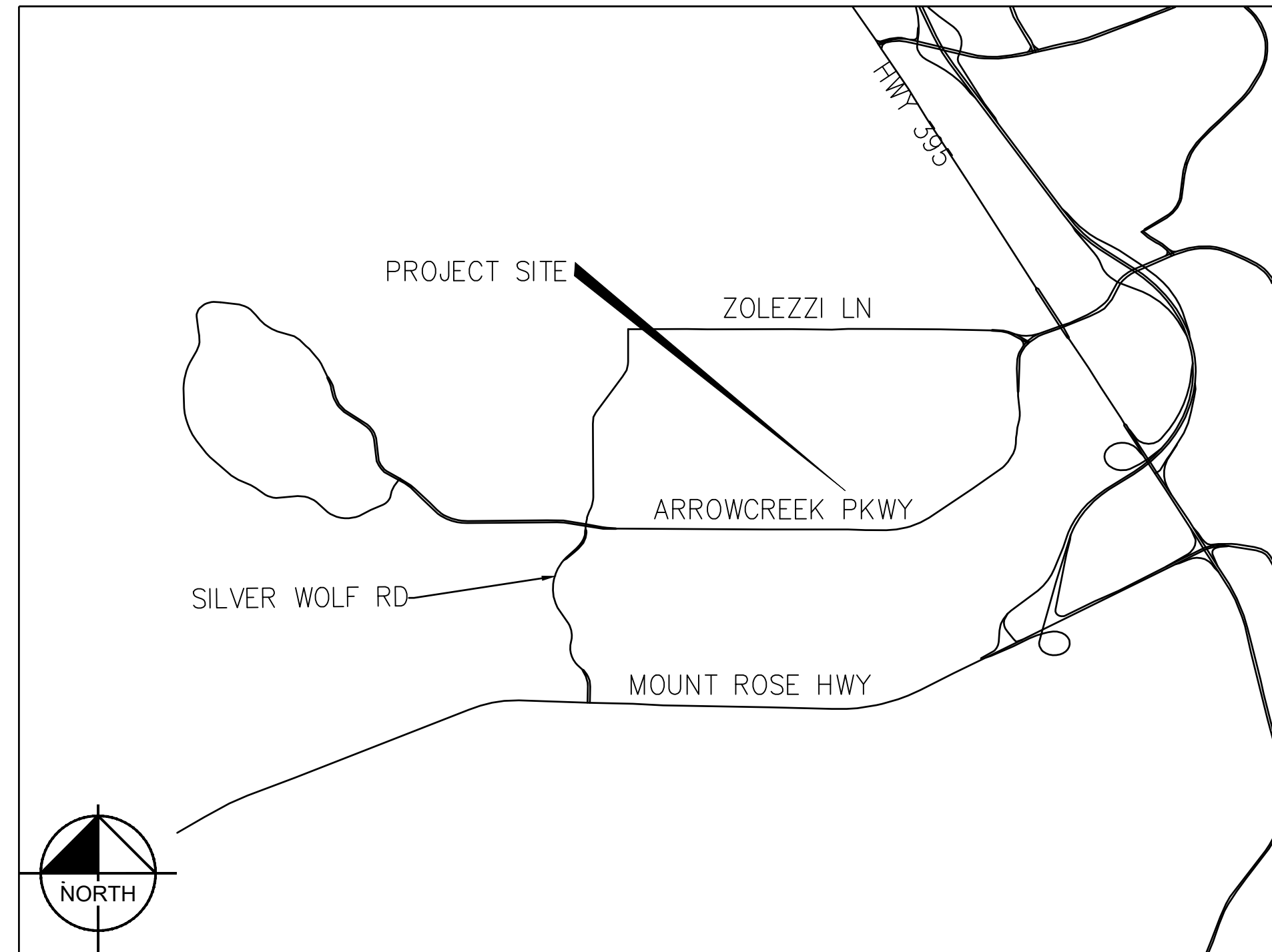
CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
5370 KIETZKE LANE, RENO, NV 89511 SUITE 100
CONTACT: CHRISTIAN HEINBAUGH, PE
PHONE: (775) 200-1967



WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT
1001 E. NINTH STREET
RENO, NV 89512
PHONE: (775) 328-2003



VICINITY MAP - N.T.S.



SITE MAP - N.T.S.

SHEET LIST	
SHEET NUMBER	SHEET TITLE
G1	TITLE SHEET
C1	EROSION CONTROL AND DEMOLITION
C2	SITE PLAN
C3	FILL STATION PLAN AND SECTION
C4	DRIVEWAY PLAN & PROFILE
C5	EFFULENT LINE PLAN & PROFILE
C6	STRIPING AND SIGNAGE
D1	DETAIL 01 OF 04
D2	DETAIL 02 OF 04
D3	DETAIL 03 OF 04
D4	DETAIL 04 OF 04
E1	ELECTRICAL PLAN
E2	ELECTRICAL PLAN
E3	ELECTRICAL DETAILS
E4	ELECTRICAL DETAILS
E5	ELECTRICAL DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	IRRIGATION PLAN
L4	IRRIGATION DETAILS
L5	SPECIFICATIONS
S1	FILL STATION STRUCTURAL DETAILS

ABBREVIATIONS

AWWA	AMERICAN WATER WORKS ASSOCIATION	(P)	PROPOSED
BMP	BEST MANAGEMENT PRACTICE	PROP	PROPERTY
BVCE	BEGIN VERTICAL CURVE ELEVATION	PVC	POINT OF VERTICAL CURVE
BVCS	BEGIN VERTICAL CURVE STATION	PVI	POINT OF VERTICAL INTERSECTION
CMP	CORRUGATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RMJ	RESTRAINED MECHANICAL JOINT
DR	DIMENSION RATIO	ROW	RIGHT-OF-WAY
ELEC	ELECTRIC	PRC	POINT OF REVERSE CURVE
ELEV	ELEVATION	RT	RIGHT
EG	EXISTING GROUND	SD	STORM DRAIN
E/P / EOP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
(E) / EX	EXISTING	SF	SILT FENCE
EVCE	END VERTICAL CURVE ELEVATION	SIP	SITE IMPROVEMENT PERMIT
EVCS	END VERTICAL CURVE STATION	S.L.	STREET LIGHT
FL	FLANGE	SS	SANITARY SEWER
IE	INVERT ELEVATION	SSMH	SANITARY SEWER MANHOLE
K	CURVATURE COEFFICIENT	STA	STATION
KH	KIMLEY-HORN	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
LAT	LATERAL	T/TELE	TELEPHONE
LT	LEFT	YCP	TYPICAL
MAX	MAXIMUM	VVC	VERTICAL CURVE
MH	MANHOLE	W/WM	WATER MAIN
MIN	MINIMUM		
NDEP	NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION PAVEMENT		
P			

LEGEND

EXISTING	PROPOSED	NOTES
		STORM DRAIN MANHOLE
		SEWER MANHOLE
		WATER VALVE
		WATER METER
		IV
		CONTOUR LINES
		DRIVEWAY (4" HMA ON 8" AB)
		PCC
		TMWA EASEMENT LIMITS
		TYPE 2 SLURRY
		PIPELINE

SYMBOLS:

	DETAIL NUMBER
	SHEET NUMBER

SURVEY INFORMATION

HORIZONTAL DATUM:
NEVADA STATE PLANE COORDINATE SYSTEM NAD 83/94 (HARN), WEST ZONE, MODIFIED BY A GRID TO GROUND COMBINED SCALE FACTOR OF 1.000197939 BASED ON THE WASHOE COUNTY GPS NETWORK

VERTICAL DATUM:
NAVD 88 BASED ON CITY OF RENO BENCHMARK #2887, ELEVATION 4533.36
1-1/2" STEEL BOLT

NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE PROJECT SPECIFICATIONS, THE PROJECT GEOTECHNICAL REPORT (CME, MARCH 2, 2020), THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) ORANGE BOOK (CURRENT EDITION), AND THESE PROJECT PLANS.
- THE SCALES INDICATED ON THESE PLANS ARE BASED ON A 22"x34" SHEET SIZE.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND/OR ENGINEER OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND THE CONDITIONS EXISTING IN THE FIELD. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS TO VERIFY THE FIGURES BEFORE LAYOUT OF THE WORK AND WILL BE RESPONSIBLE FOR ANY ERRORS WHICH MAY HAVE BEEN AVOIDED THEREBY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONSTRUCTION WATER AND SECURING STAGING AREA LOCATION(S).
- DURING THE ENTIRE DURATION OF THIS CONSTRUCTION CONTRACT, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES IN ACCORDANCE WITH WASHOE COUNTY RULES AND REGULATIONS. THE CONTRACTOR IS REQUIRED TO SUPPRESS DUST AT ALL TIMES, REGARDLESS OF WHEN CONSTRUCTION ACTIVITIES ARE OCCURRING. THE CONTRACTOR SHALL OBTAIN A STORMWATER GENERAL OR A SURFACE AREA DISTURBANCE PERMIT FROM THE NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS REQUIRED, AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL ON ALL APPLICABLE PROJECTS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND OTHER INFRASTRUCTURE THROUGHOUT CONSTRUCTION. DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
- CONTRACTOR SHALL ENSURE NO ENCROACHMENT INTO ADJACENT PROPERTIES OCCURS
- TRAFFIC CONTROL, CONSTRUCTION SIGNS, AND BARRICADES SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD, LATEST EDITION (MAY, 2012).
- THE CONTRACTOR SHALL COOPERATE WITH ANY OTHER CONTRACTORS OR UTILITY AGENCIES WORKING WITHIN THE CONSTRUCTION AREA.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH SSPWC, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE COUNTY SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION AND DETAIL SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
- THE EXISTING CONDITIONS SHOWN ON THESE PLANS WERE PROVIDED BY THE TOPOGRAPHIC SURVEY PREPARED BY THE PROJECT SURVEYOR, AND ARE BASED ON THE BENCHMARKS SHOWN. THE CONTRACTOR SHALL REFERENCE THE SAME BENCHMARKS.
- THE CONTRACTOR SHALL REVIEW AND VERIFY THE EXISTING TOPOGRAPHIC SURVEY SHOWN ON THE PLANS REPRESENTS EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND SHALL

REPORT ANY DISCREPANCIES FOUND TO THE OWNER AND ENGINEER IMMEDIATELY.

- IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHIC SURVEY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL LAND SURVEYOR TO THE OWNER AND ENGINEER FOR REVIEW.
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT, ENGINEER, AND IF APPLICABLE THE COUNTY AND OWNER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE COUNTY, ENGINEER, AND OWNER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK TO HAVE THEM LOCATE THEIR EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE AN ADEQUATE MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL USE EXTREME CAUTION AS THE SITE CONTAINS VARIOUS KNOWN AND UNKNOWN PUBLIC AND PRIVATE UTILITIES.
- THE LOCATIONS, ELEVATIONS, DEPTH, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY MAPS AND PLANS, AND ARE CONSIDERED APPROXIMATE AND INCOMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE PRESENCE, LOCATION, ELEVATION, DEPTH, AND DIMENSION OF EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE ENGINEER SHALL BE NOTIFIED WHEN A PROPOSED IMPROVEMENT CONFLICTS WITH AN EXISTING UTILITY.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS, APPROVALS, AND BONDS PRIOR TO CONSTRUCTION. A CITY OF RENO EXCAVATION AND ENCROACHMENT PERMIT WILL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, GEOTECHNICAL REPORT AND ADDENDA, PROJECT AND COUNTY SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ALL SHOP DRAWINGS AND OTHER DOCUMENTS THAT REQUIRE ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, SO THAT NO LESS THAN 10 BUSINESS DAYS FOR REVIEW AND RESPONSE IS AVAILABLE.
- CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM CONSISTING OF PUMPS, FUEL MANAGEMENT

UNIT, SUPPLY POWER, AND SYSTEM CONTROLS SUITABLE FOR A COMPLETE AND FULLY FUNCTIONING FILL STATION SYSTEM.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE MATERIALS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND COUNTY SPECIFICATIONS.
- ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS OUTSIDE OF THE WORK AREA WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, MANHOLES, POLES, GUY WIRES, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, COMMUNICATION BOXES/PEDESTALS, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY OR PUBLIC IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: FENCES, WALLS, SIGNS, PAVEMENT, CURBS, UTILITIES, SIDEWALKS, GRASS, TREES, LANDSCAPING, AND IRRIGATION SYSTEMS, ETC... TO ORIGINAL CONDITION OR BETTER AT NO COST TO THE OWNER.
- ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER, INCLUDING AS NECESSARY GRADING, LANDSCAPING, CULVERTS, AND PAVEMENT.
- THE CONTRACTOR SHALL REMOVE AND PROTECT ALL EXISTING POWER POLES, SIGNS, WATER VALVES, FIRE HYDRANTS, METERS, ETC. THAT ARE TO BE REMOVED DURING CONSTRUCTION. THESE FACILITIES SHALL BE PROVIDED TO THE FACILITY OWNER IF THEY ARE NOT CALLED TO BE REINSTALLED ON SITE.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES OR CULVERTS FREE OF OBSTRUCTIONS AT ALL TIMES. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM WATER.
- SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THESE PLANS DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE ENGINEER'S SEAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL REQUIRED SAFETY PROCEDURES AND PROGRAMS.
- SIGNS RELATED TO SITE OPERATION OR SAFETY ARE NOT INCLUDED IN THESE PLANS.
- CONTRACTOR OFFICE AND STAGING AREA SHALL BE AGREED ON BY THE OWNER AND CONTRACTOR PRIOR TO BEGINNING OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING REQUIREMENTS FOR THE CONSTRUCTION OFFICE, TRAILER, STORAGE, AND STAGING OPERATIONS AND LOCATIONS.
- CONTRACTOR SHALL KEEP A NEAT AND ACCURATE RECORD OF CONSTRUCTION, INCLUDING ANY DEVIATIONS OR VARIANCES FROM THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS TO THE ENGINEER AND COUNTY IDENTIFYING ALL DEVIATIONS AND VARIATIONS FROM THESE PLANS MADE DURING CONSTRUCTION.

No.
REVISIONS
DATE
BY

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5370 KIETZKE LANE, SUITE 100, RENO, NV 89511
PHONE: 775-200-1967
WWW.KIMLEY-HORN.COM

05/03/2021

KHA PROJECT
192049002

DATE
05/03/2021

SCALE: AS SHOWN

DESIGNED BY: CNH

DRAWN BY: IML

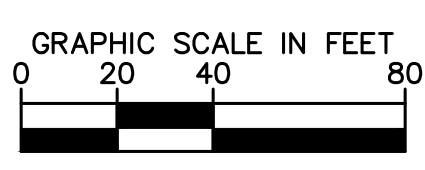
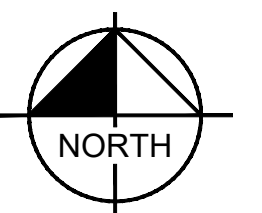
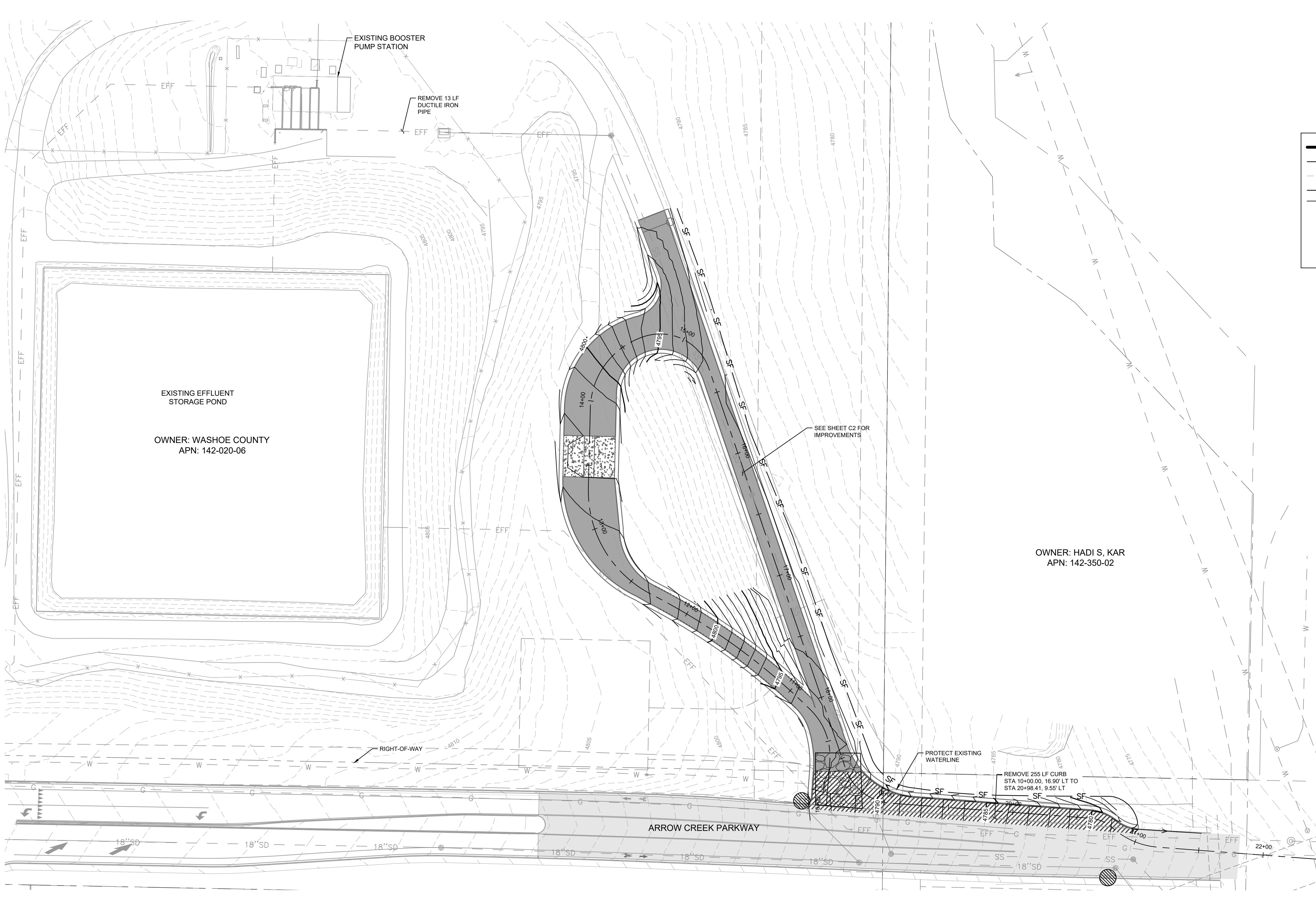
CHECKED BY: CNH

TITLE SHEET

FIELD CREEK
EFFLUENT FILL
STATION
RENO, NV

SHEET NUMBER
G1

Plotted By: Larkin, Illinois (Brown), Date: May 03, 2021, 04:15:04pm, File Path: K:\REN_Civil\192049 - Washoe County\002 - Field Creek Effluent Fill Station\07 CAD\Plansheets\C-Eros.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SILT FENCE
	GUTTER PROTECTION
	INLET PROTECTION
	CONSTRUCTION ENTRANCE

STANDARD EROSION CONTROL GENERAL NOTES

1. EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND OWNER.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE NDEP. CONTRACTOR SHALL COMPLY WITH ALL NDEP STORMWATER POLLUTION PREVENTION REQUIREMENTS.

BMP MAINTENANCE SCHEDULE

TEMPORARY CONSTRUCTION ENTRANCE/EXIT:
 INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASHDOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

SILT FENCE:
 INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE, INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

CURB INLET/GRATE INLET/WYE INLET:
 INSPECTIONS SHALL BE MADE WEEKLY AND AFTER ALL RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM THE STORAGE AREA SURROUNDING THE INLET/GRATE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-HALF OF THE PROTECTION HEIGHT. DEVICE SHALL BE INSPECTED FOR GAPS AT BASE, AND SHALL BE REPLACED AS NEEDED.

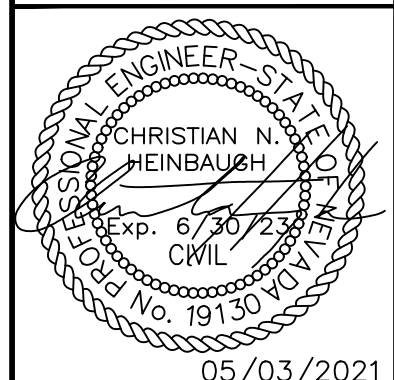
- NOTE:**
1. CONTRACTOR SHALL PROTECT EDGE OF EXISTING PAVEMENT DURING CURB AND GUTTER REMOVAL TO ALLOW FOR ROADWAY WIDENING.
 2. SEE C4 FOR HORIZONTAL CONTROL ALIGNMENT LINE AND CURVE TABLE/
 3. TOTAL DISTURBANCE AREA = 36,785+/- SF

OWNER: HADI S, KAR
 APN: 142-350-02

EXISTING EFFLUENT STORAGE POND
 OWNER: WASHOE COUNTY
 APN: 142-020-06

No.	REVISIONS	DATE	BY

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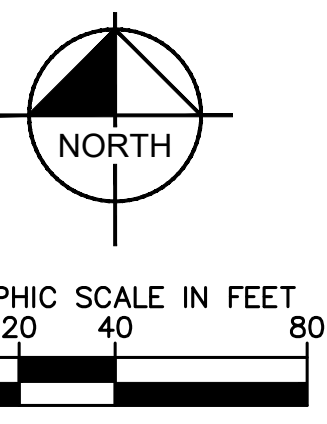
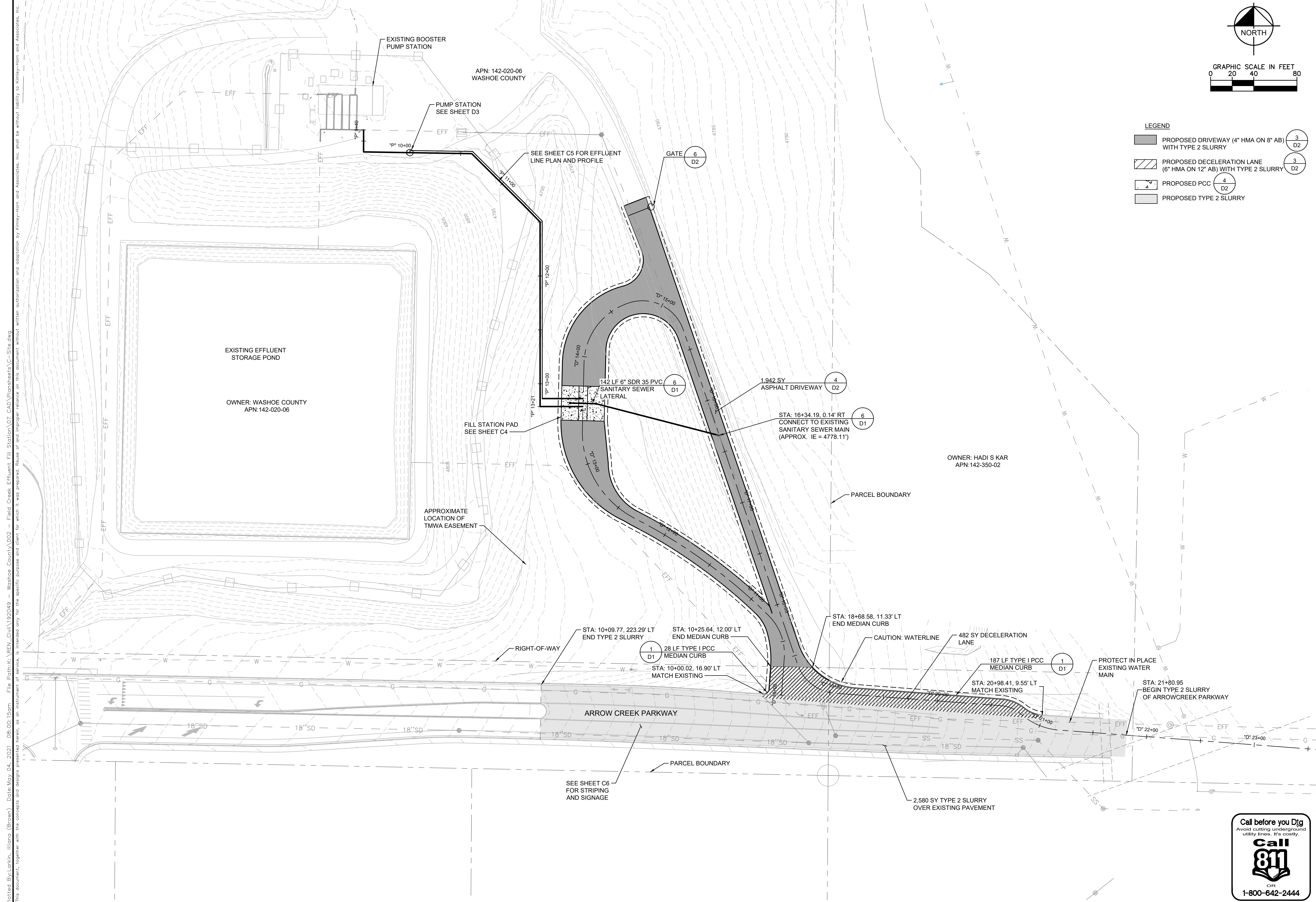
KHA PROJECT	192049002
DATE	05/03/2021
SCALE:	AS SHOWN
DESIGNED BY:	CNH
DRAWN BY:	IML
CHECKED BY:	CNH

EROSION CONTROL AND DEMOLITION

FIELD CREEK EFFLUENT FILL STATION RENO, NV



SHEET NUMBER
C1

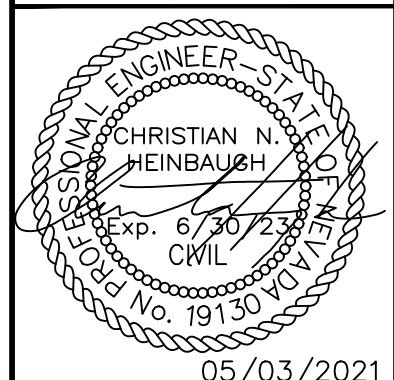


- LEGEND**
- PROPOSED DRIVEWAY (4" HMA ON 8" AB) WITH TYPE 2 SLURRY 3
D2
 - PROPOSED DECELERATION LANE (6" HMA ON 12" AB) WITH TYPE 2 SLURRY 3
D2
 - PROPOSED PCC 4
D2
 - PROPOSED TYPE 2 SLURRY

No.	REVISIONS	DATE	BY

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DATE	05/03/2021
SCALE:	AS SHOWN
DESIGNED BY:	CNH
DRAWN BY:	IML
CHECKED BY:	CNH

SITE PLAN

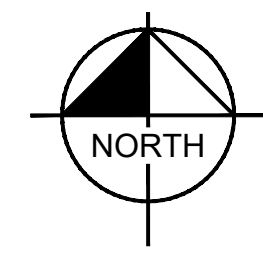
**FIELD CREEK
EFFLUENT FILL
STATION
RENO, NV**

SHEET NUMBER
C2



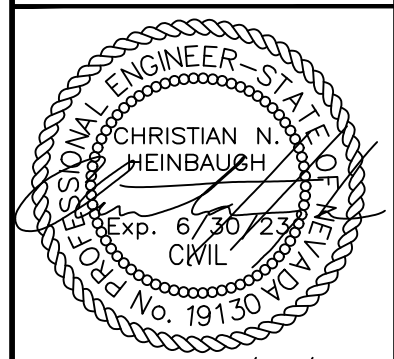
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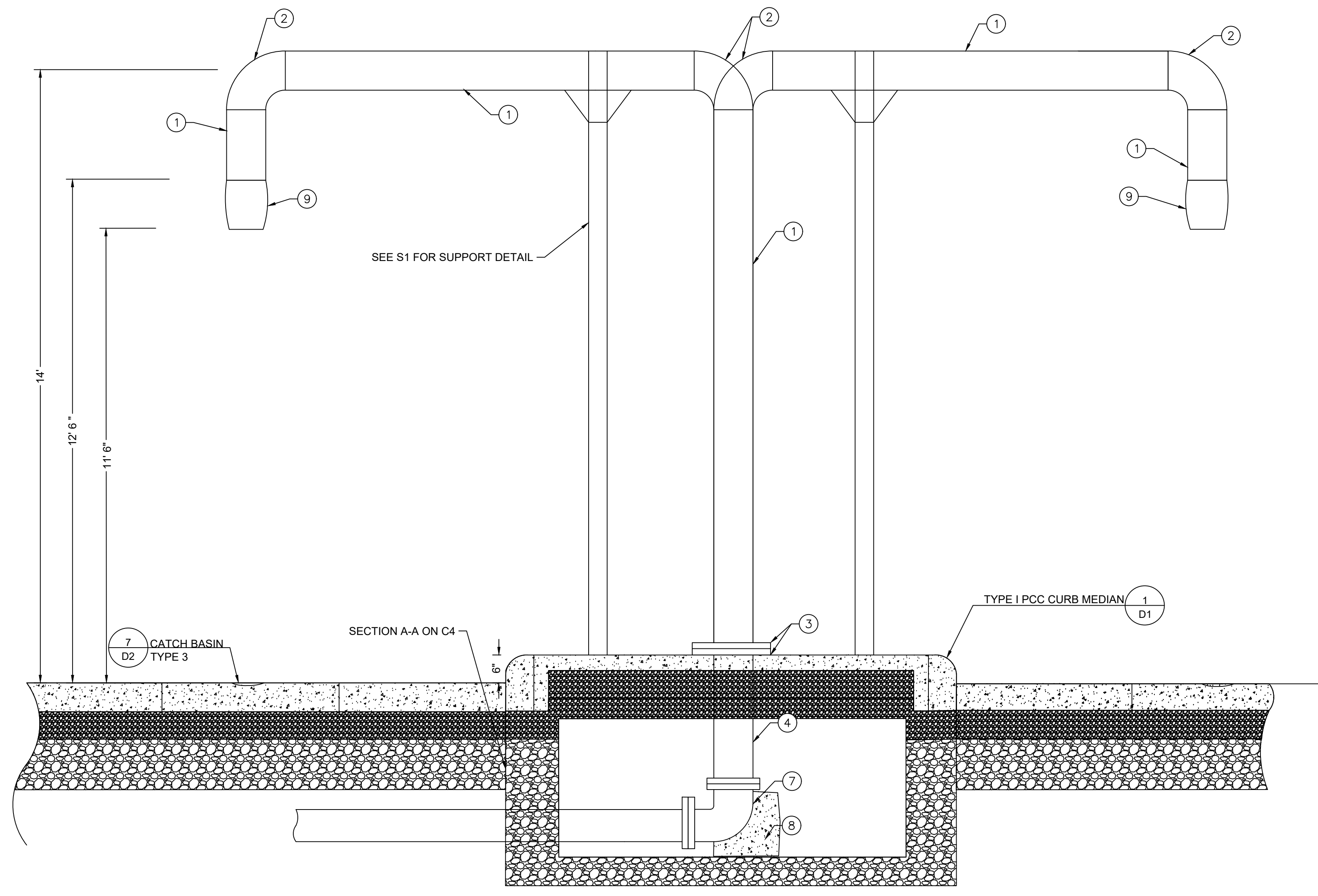
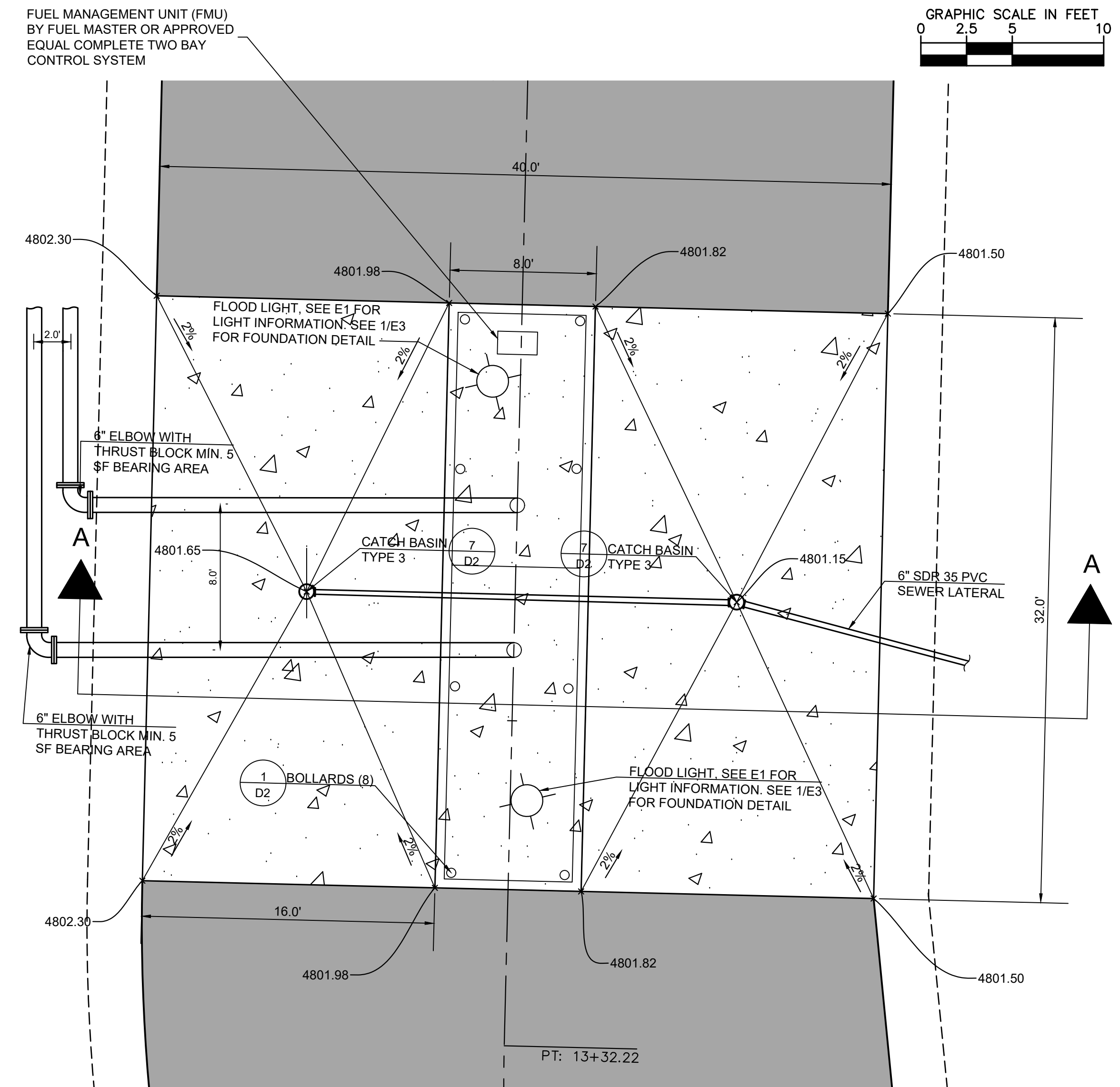
KHA PROJECT	192049002
DATE	05/03/2021
SCALE	AS SHOWN
DESIGNED BY	CNH
DRAWN BY	IML
CHECKED BY	CNH

FILL STATION PLAN AND SECTION

FIELD CREEK EFFLUENT FILL STATION RENO, NV

SHEET NUMBER
C3

WCUP21-0834
 EXHIBIT D



SECTION A-A
 NOT TO SCALE

PROPOSED MATERIAL LIST

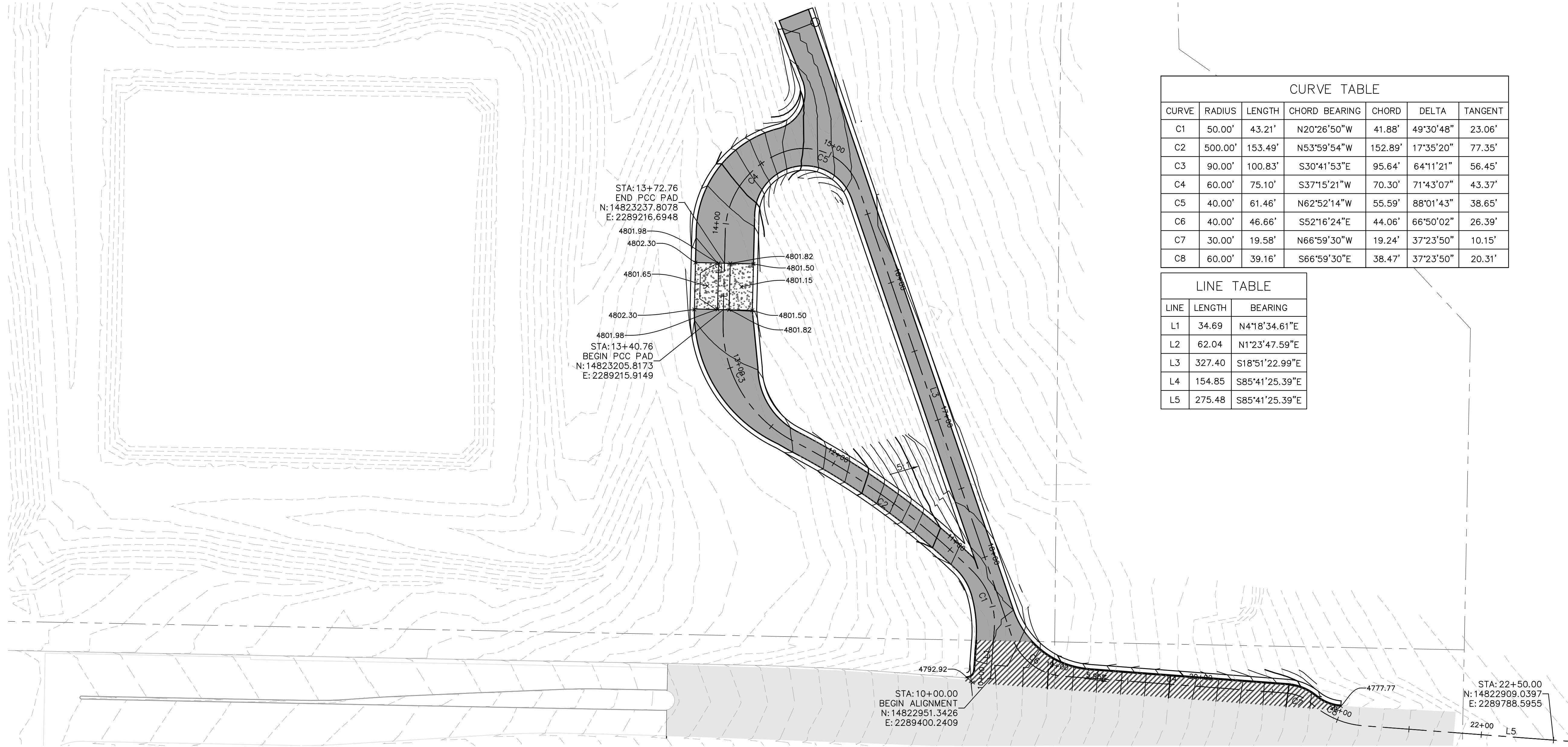
- ① 6" STANDARD STEEL PIPE
- ② 6" STEEL 90° WELD ELBOW
- ③ 6" SLIP-ON ELD FLANGE
- ④ 6" FLANGE X PLAIN END DUCTILE IRON SPOOL. CUT TO FIT
- ⑤ 6" DUCTILE IRON FLANGE 90° ELBOW
- ⑥ CONCRETE THRUST BLOCK, MINIMUM 5 SQUARE FEET BEARING AREA
- ⑦ FLEXIBLE SOCK, SECURE WITH STAINLESS STEEL HARDWARE

NOTES:

1. ALL EXPOSED STEEL PIPE, HARDWARE, AND APPURTENANCES ARE TO RECEIVE TWO FIELD-APPLIED COATS OF BROWN CARBOLINE 801, OR APPROVED EQUAL. APPLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

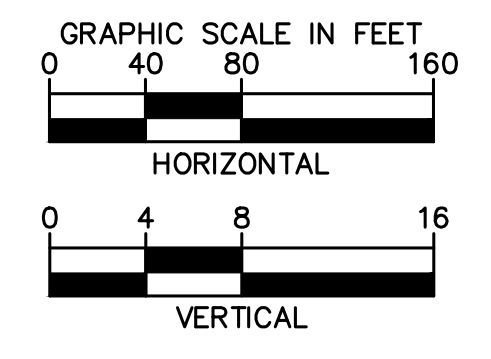
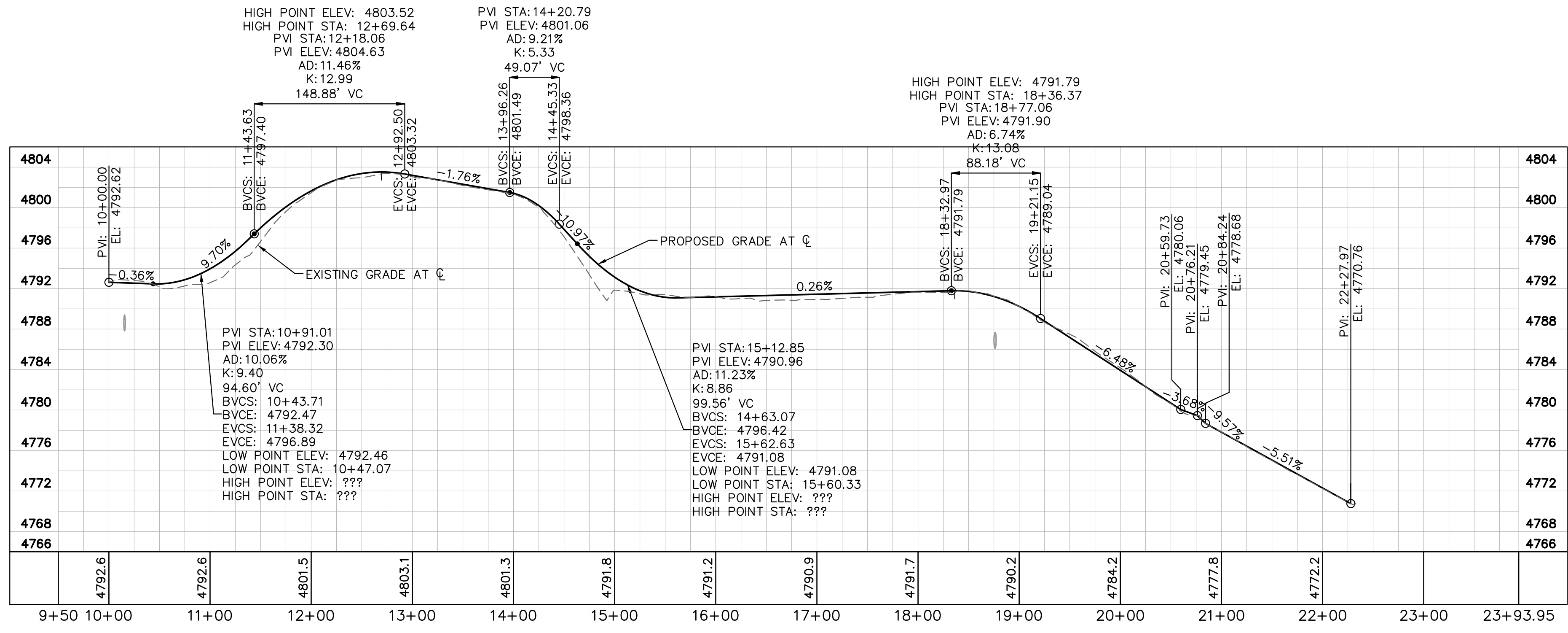
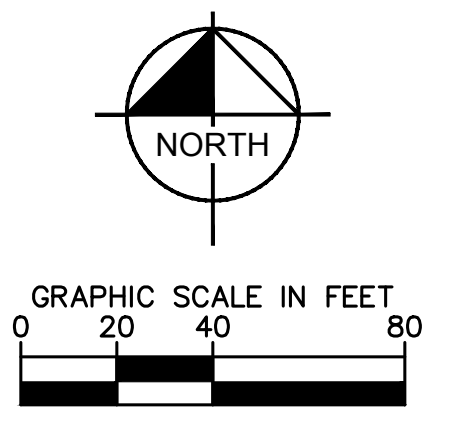


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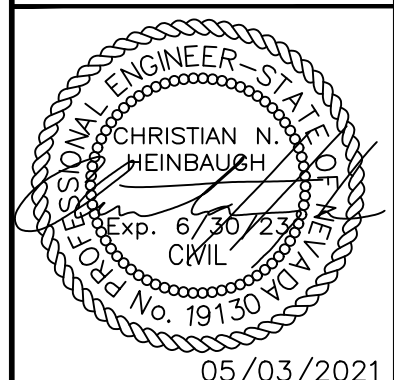
CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	50.00'	43.21'	N20°26'50"W	41.88'	49°30'48"	23.06'
C2	500.00'	153.49'	N53°59'54"W	152.89'	17°35'20"	77.35'
C3	90.00'	100.83'	S30°41'53"E	95.64'	64°11'21"	56.45'
C4	60.00'	75.10'	S37°15'21"W	70.30'	71°43'07"	43.37'
C5	40.00'	61.46'	N62°52'14"W	55.59'	88°01'43"	38.65'
C6	40.00'	46.66'	S52°16'24"E	44.06'	66°50'02"	26.39'
C7	30.00'	19.58'	N66°59'30"W	19.24'	37°23'50"	10.15'
C8	60.00'	39.16'	S66°59'30"E	38.47'	37°23'50"	20.31'

LINE TABLE		
LINE	LENGTH	BEARING
L1	34.69	N4°18'34.61"E
L2	62.04	N1°23'47.59"E
L3	327.40	S18°51'22.99"E
L4	154.85	S85°41'25.39"E
L5	275.48	S85°41'25.39"E



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KHA PROJECT	192049002
DATE	05/03/2021
SCALE	AS SHOWN
DESIGNED BY	CNH
DRAWN BY	IML
CHECKED BY	CNH

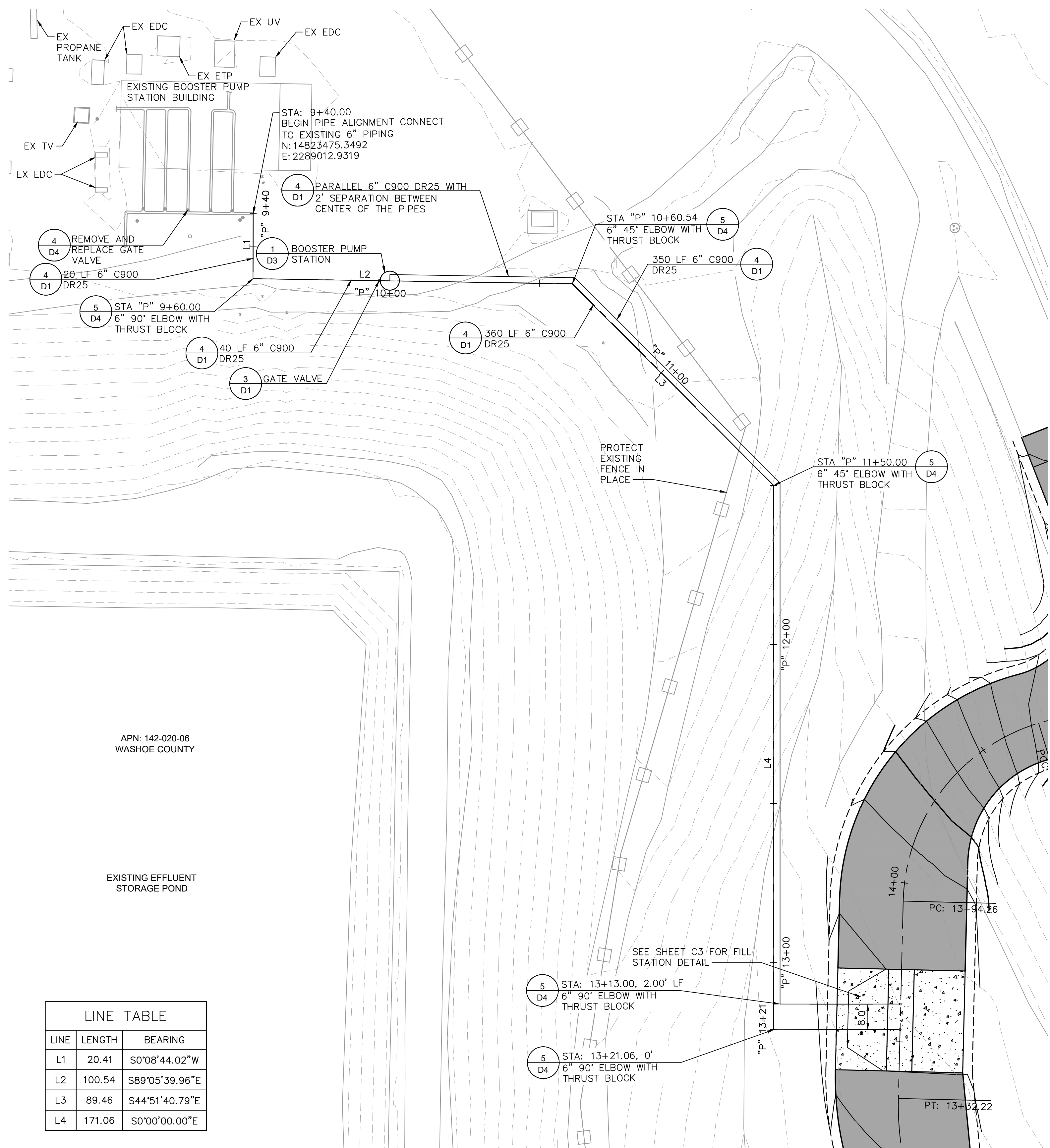
DRIVEWAY PLAN & PROFILE

FIELD CREEK EFFLUENT FILL STATION RENO, NV

SHEET NUMBER
C4



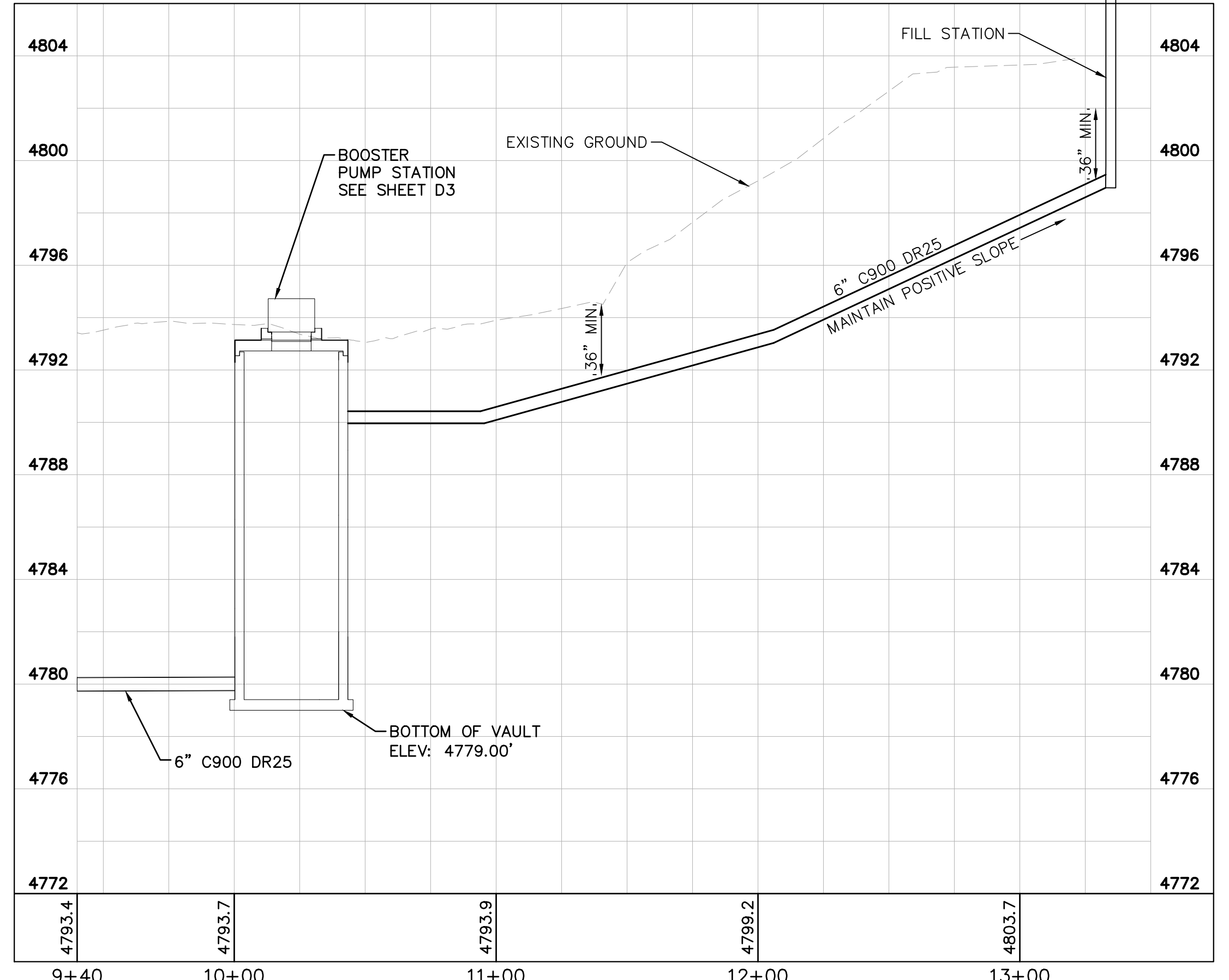
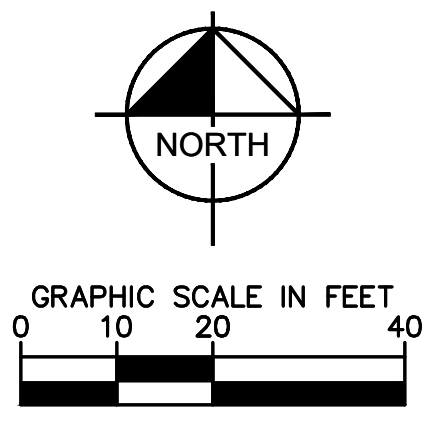
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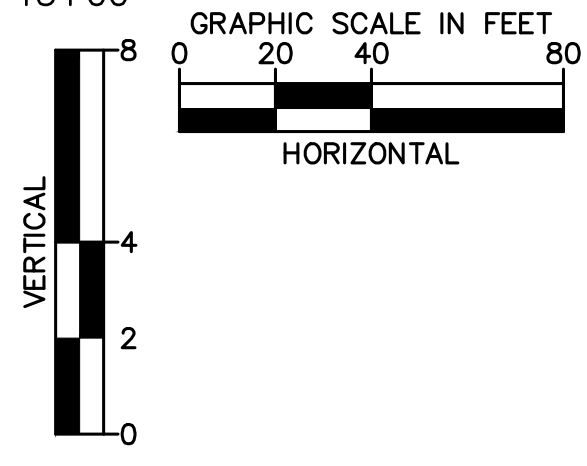
LINE TABLE		
LINE	LENGTH	BEARING
L1	20.41	S0°08'44.02\"W
L2	100.54	S89°05'39.96\"E
L3	89.46	S44°51'40.79\"E
L4	171.06	S0°00'00.00\"E

APN: 142-020-06
 WASHOE COUNTY

EXISTING EFFLUENT
 STORAGE POND

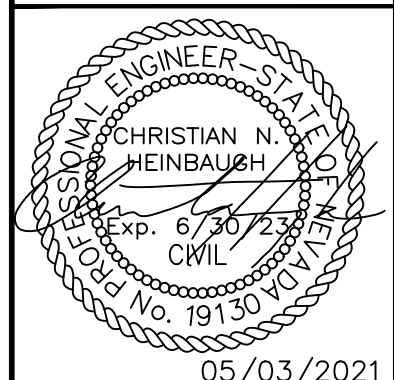


NOTE:
 FOR MINOR CHANGES IN THE VERTICAL OR HORIZONTAL ALIGNMENT
 CONTRACTOR SHALL DEFLECT THE WATER MAIN IN ACCORDANCE WITH
 THE MANUFACTURERS RECOMMENDATION.



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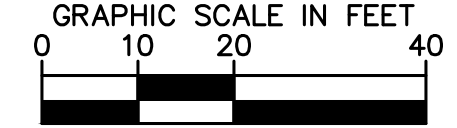
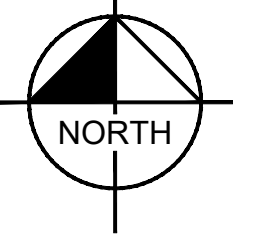
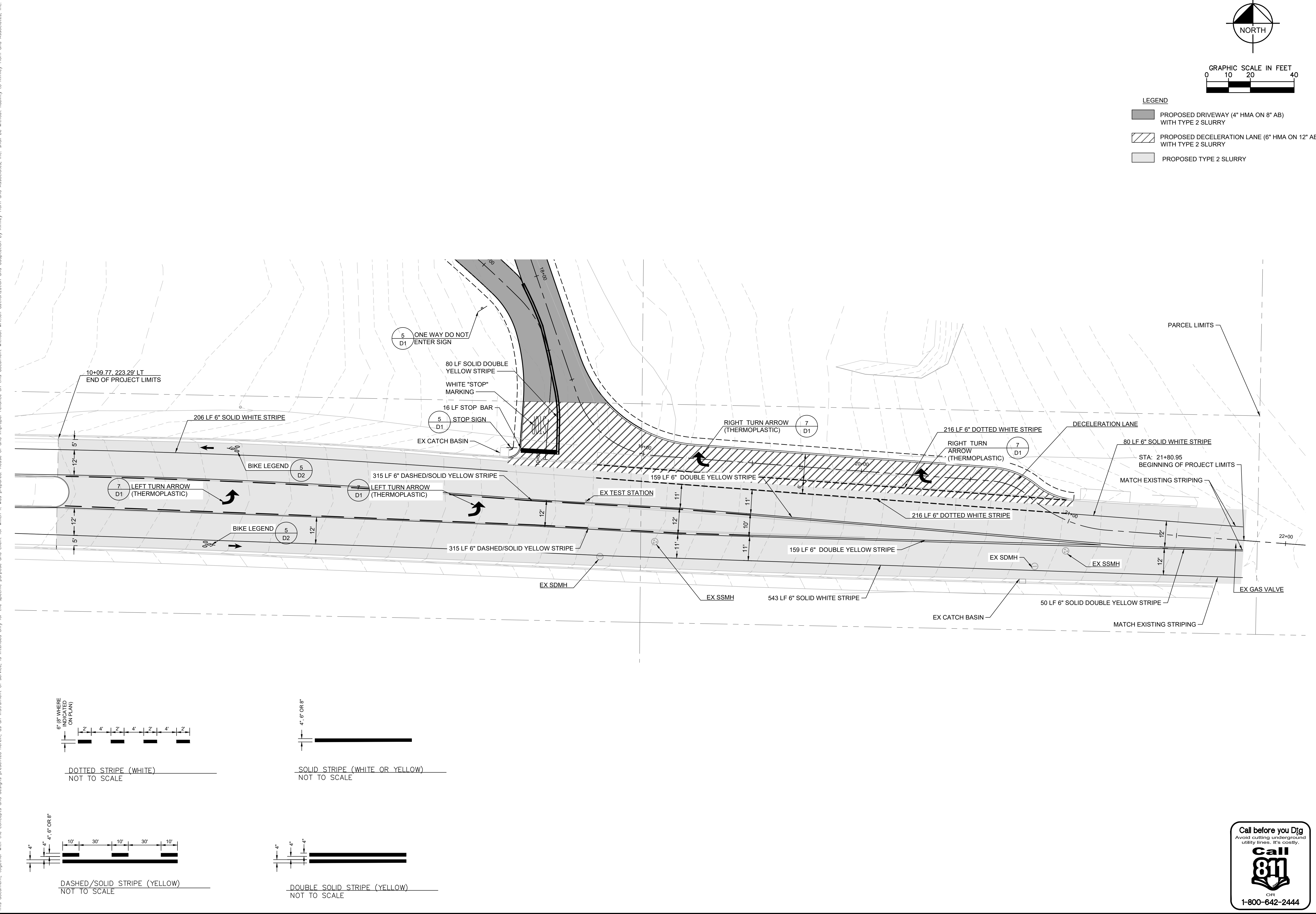
KHA PROJECT 192049002	DATE 05/03/2021	SCALE: AS SHOWN	DESIGNED BY: CNH	DRAWN BY: IML	CHECKED BY: CNH
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**EFFLUENT LINE
 PLAN & PROFILE**

**FIELD CREEK
 EFFLUENT FILL
 STATION
 RENO, NV**

SHEET NUMBER
C5

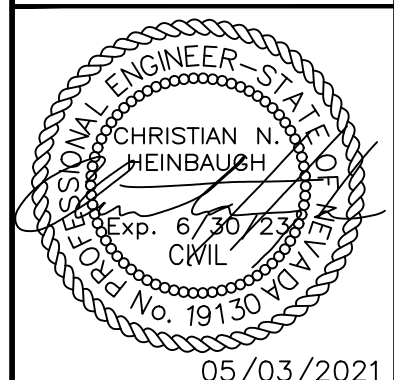
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- LEGEND**
- PROPOSED DRIVEWAY (4" HMA ON 8" AB) WITH TYPE 2 SLURRY
 - PROPOSED DECELERATION LANE (6" HMA ON 12" AB) WITH TYPE 2 SLURRY
 - PROPOSED TYPE 2 SLURRY

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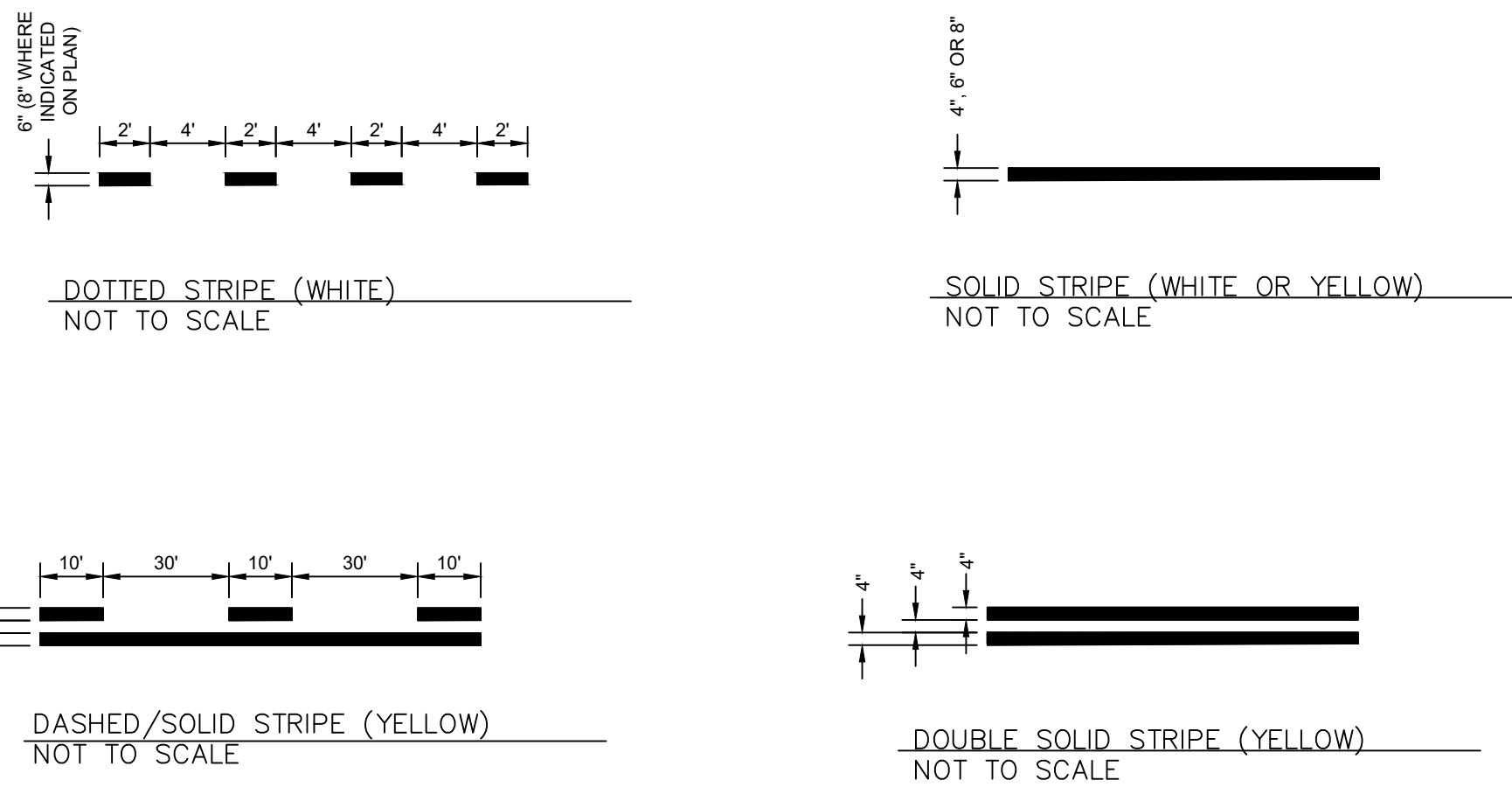


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DATE	05/03/2021
SCALE:	AS SHOWN
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DRAWN BY:	IML
CHECKED BY:	CNH

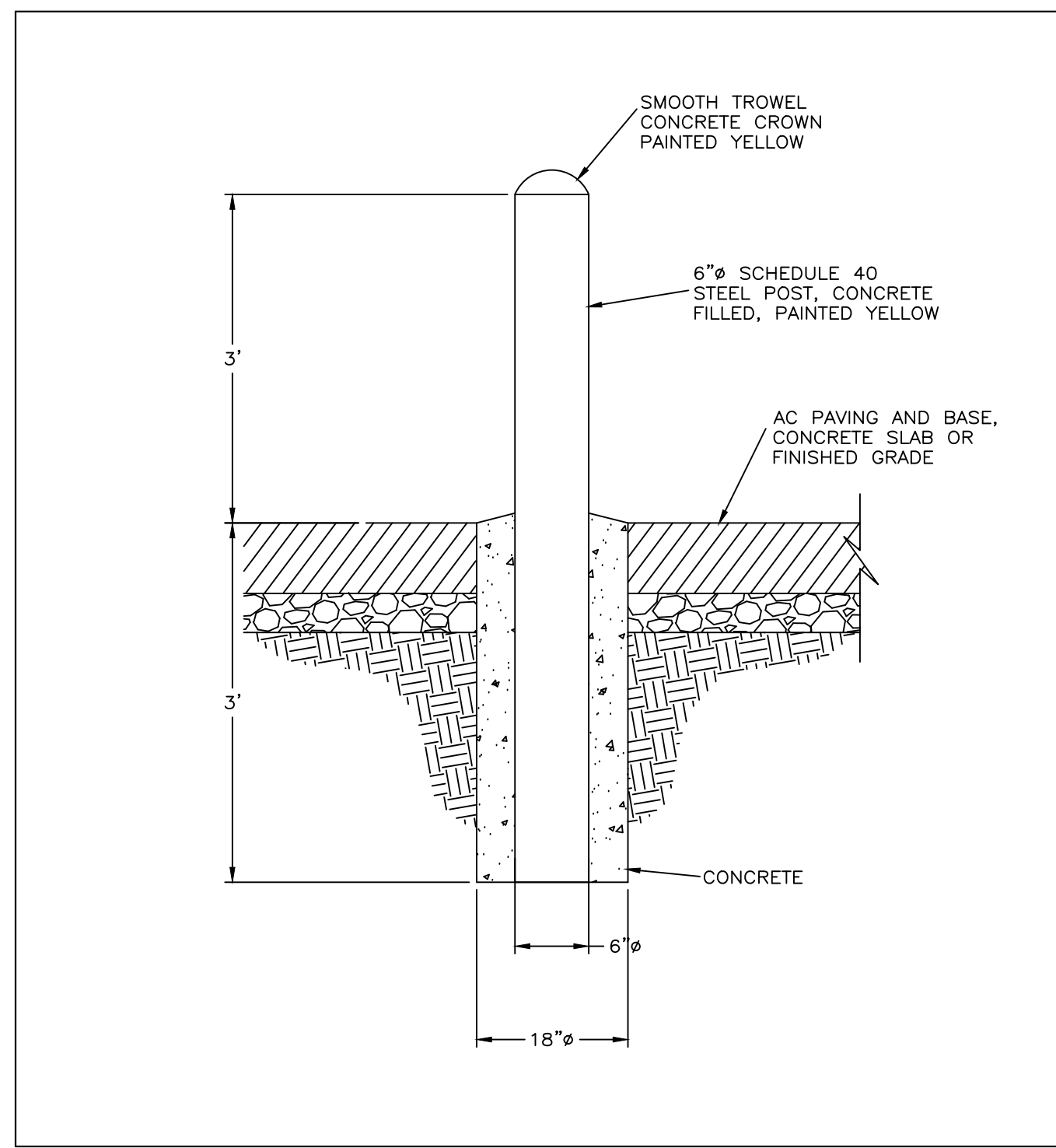
STRIPING AND SIGNAGE

FIELD CREEK EFFLUENT FILL STATION RENO, NV

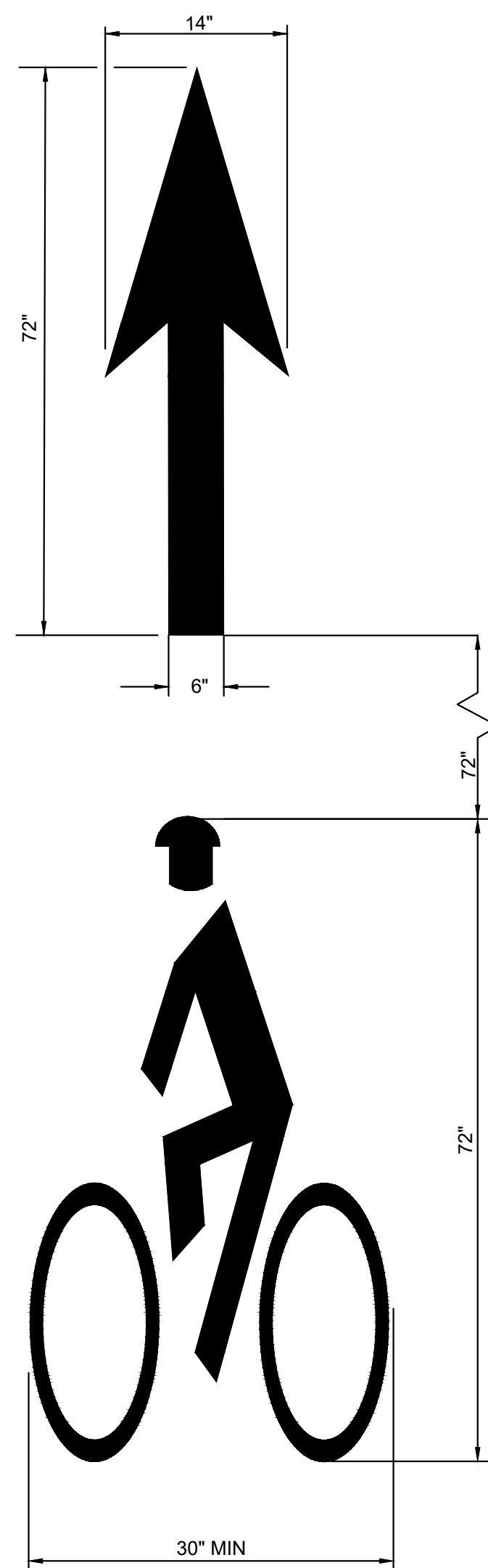
SHEET NUMBER
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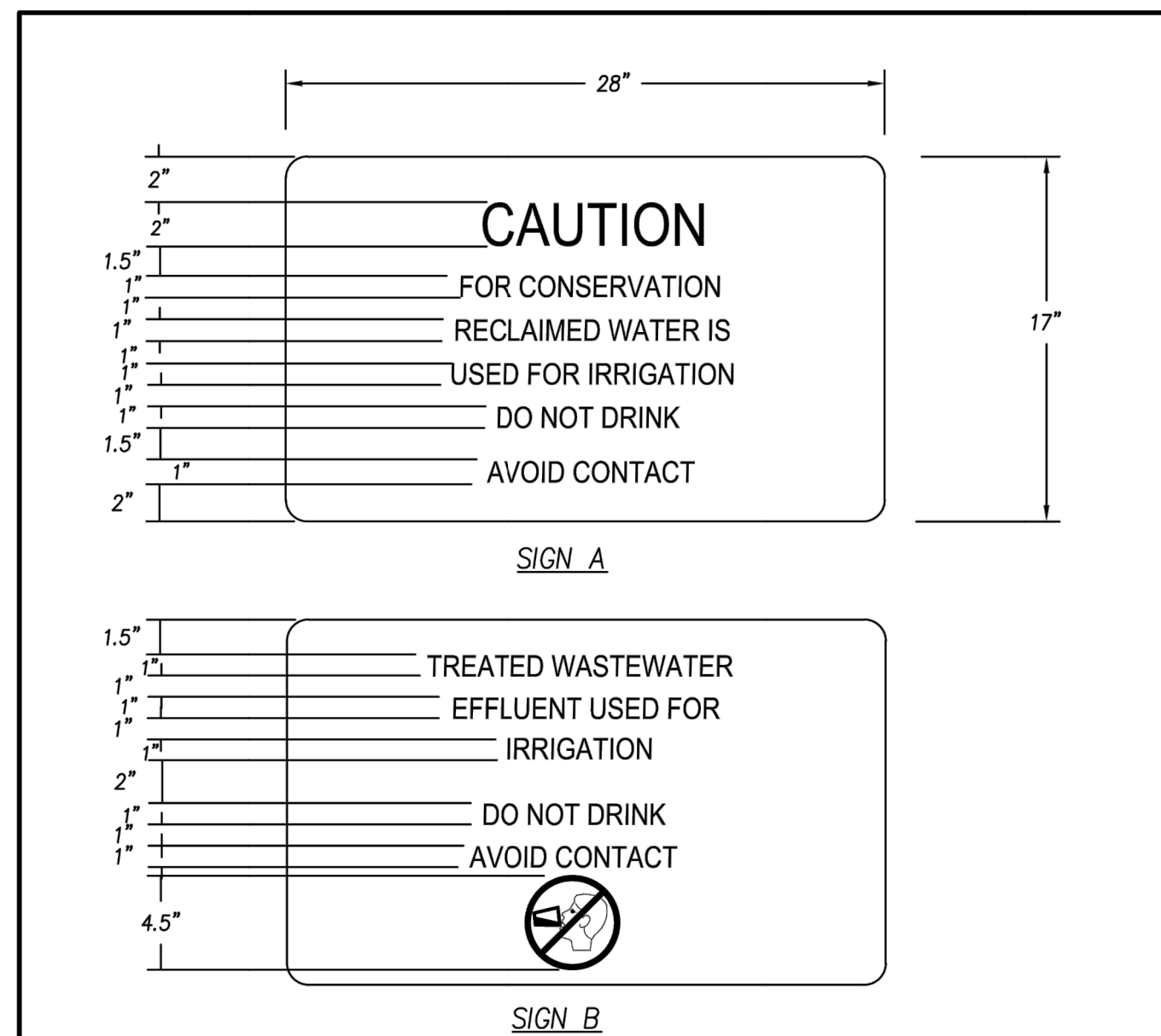
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1 BOLLARD
D2 NOT TO SCALE



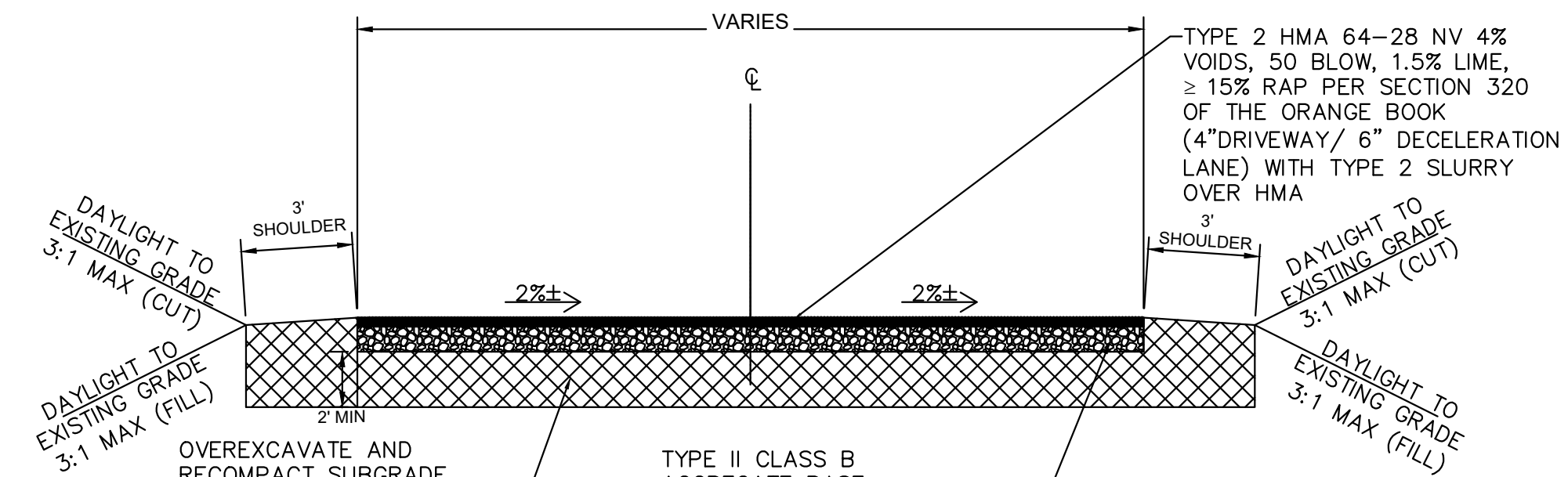
5 BIKE SYMBOL
D2 NOT TO SCALE



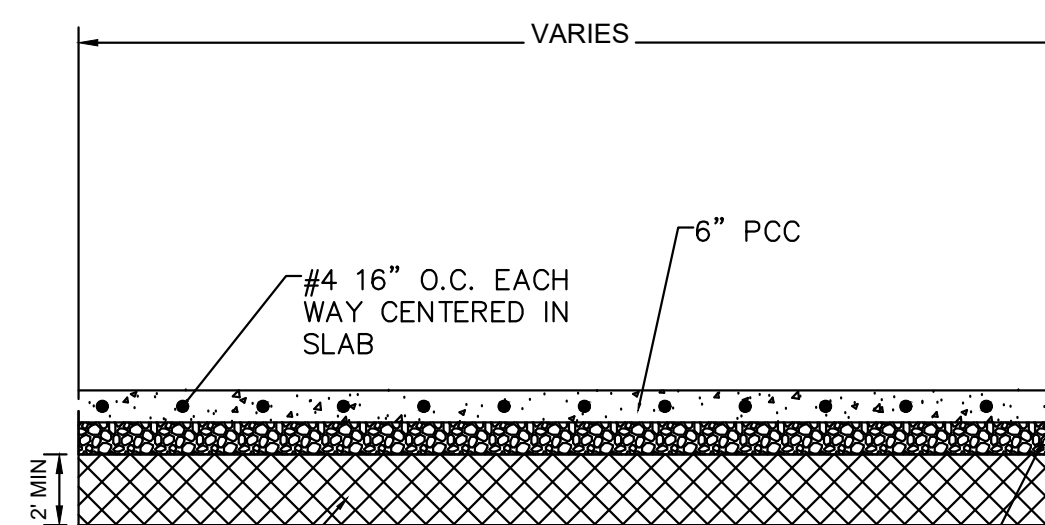
NOTES:
 1. LETTERING IS WHITE. BACKGROUND IS PURPLE. SIGN A IS TO BE USED IN CONJUNCTION WITH ANY FENCED RECLAIMED FACILITY; SIGN B TO BE USED WHEN ADVERTISING LANDSCAPE ISLANDS, MEDIANS, ETC.
 2. SIGN MATERIAL SHALL BE 0.1 INCH THICK ALUMINUM. ALUMINUM SHALL BE DEGREASED BEFORE PAINTING. PAINT SHALL BE ALKYD ENAMEL.
 3. MAXIMUM SPACING FOR ROADWAY LANDSCAPING SHALL BE 500 FEET.
 4. SIGN A TO BE POSTED AT EACH ENTRANCE TO THE PROPERTY.
 5. SIGN SIZE MAY BE SCALED DOWN TO 8" X 12" WHEN REQUIRED BY DWR.

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
				WASHOE
				DRAWING NO: WR-2.21
				DATE: 5/09 PAGE: 36

2 RECLAIMED WATER SIGNAGE REQUIREMENT
D2 NOT TO SCALE



3 CROSS SECTION FOR DRIVEWAY AND DECELERATION LANE
D2 NOT TO SCALE



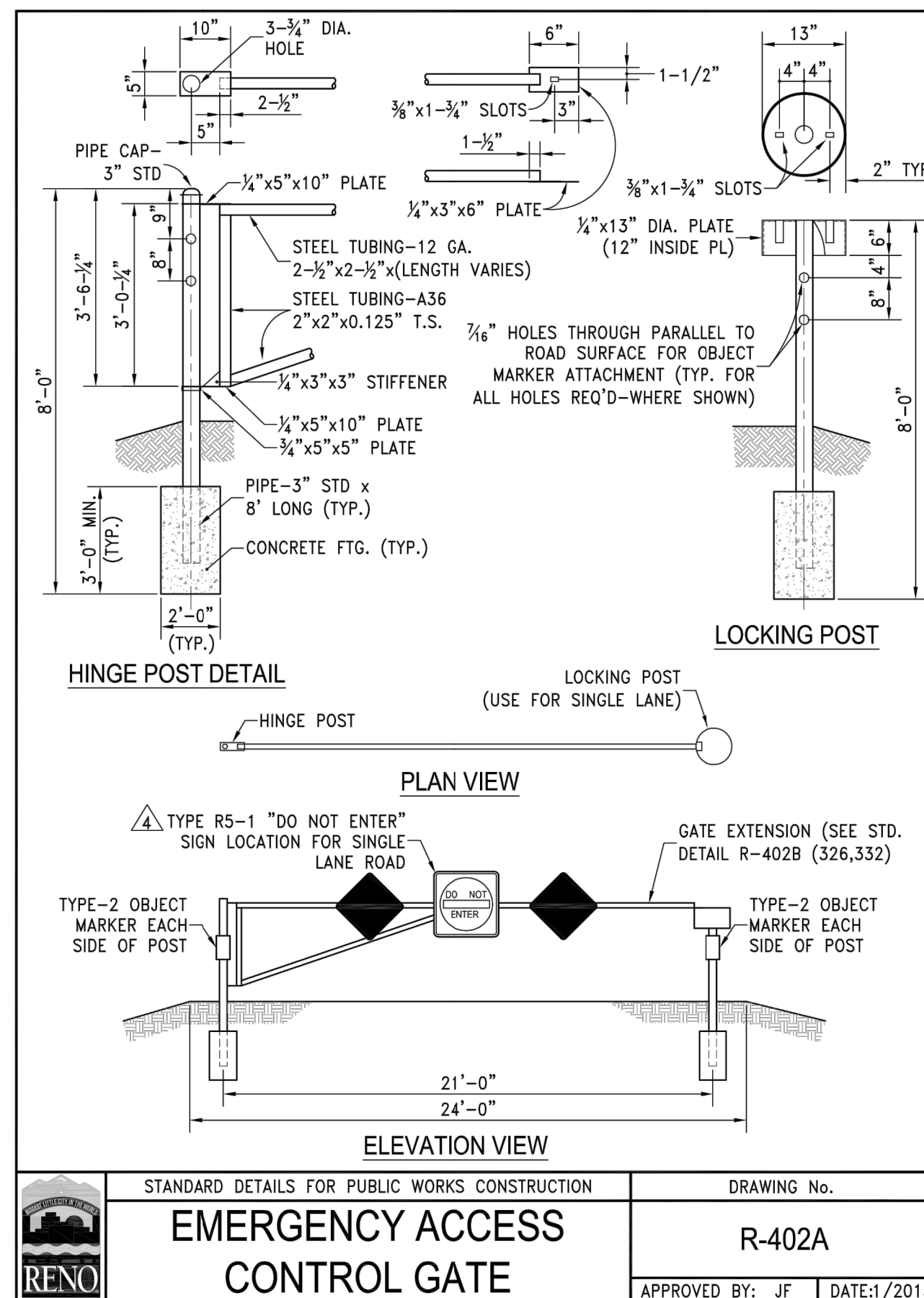
OVEREXCAVATE AND RECOMPACT SUBGRADE TO 90% RELATIVE COMPACTION PER SOIL ASSESSMENT REPORT PREPARED BY CME DATED MARCH 2, 2020

MIN. 6" TYPE II CLASS B AGGREGATE BASE COMPACTED TO 95% MIN RELATIVE COMPACTION

NOTES:

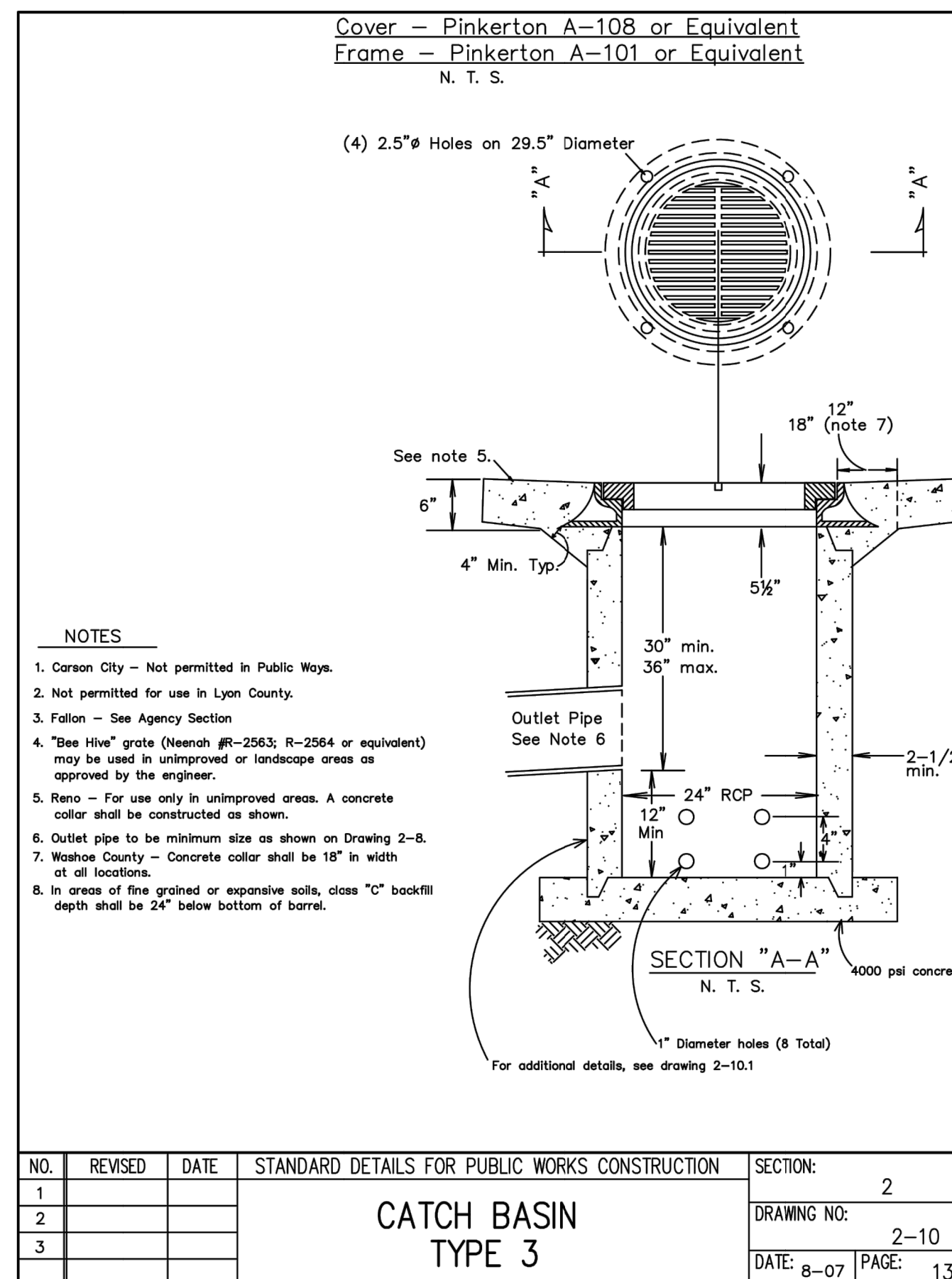
- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL MEET THE FOLLOWING SPECIFICATIONS: 4,000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS W/ MIN. 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE; WATER/CEMENT RATIO 0.45 MAX; AIR ENTRAINMENT SHALL BE 4.5% - 7.5%; SLUMP SHALL RANGE FROM 1" MIN TO 4" MAX. IF P.C.C. DRIVEWAY APRON IS COLORED CONCRETE, CONCRETE SHALL BE A MINIMUM OF 7 SACKS OF TYPE II CEMENT (588 LBS) PER CU. YD. OF CONCRETE - 4000 PSI COMPRESSIVE STRENGTH @ 28 DAYS WITH 4.5 - 7.5% AIR.
- ALL MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) EXCEPT WHERE SPECIFIED IN WASHOE COUNTY DETAILS/SPECIFICATIONS.
- CONCRETE SHALL BE FINISHED AND CURED IN ACCORDANCE WITH METHODS FOUND IN THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- REINFORCING FOR ALL DRIVEWAY APRONS/CURB/GUTTERS SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MFD. BY FIBERMESH OR APPROVED EQUAL. ADD 1 1/2 LBS FIBERMESH PER CU. YD. OF CONCRETE.
- CONCRETE FOR DRIVEWAY APRON SHALL RECEIVE A MEDIUM BROOM FINISH.
- TYPE 2 CLASS B AGGREGATE BASE SHALL BE COMPACTED TO 95% MINIMUM RELATIVE COMPACTION PER ASTM D-1557.
- SUBGRADE SHALL BE COMPACTED TO 90% MIN RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY WASHOE COUNTY PRIOR TO PLACEMENT OF AGGREGATE BASE.
- EVAPORATION REDUCERS (SUCH AS CONFLIM) SHALL BE APPLIED IMMEDIATELY AFTER INITIAL CURING.

4 CROSS SECTION FOR CONCRETE SECTION
D2 NOT TO SCALE



NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	DRAWING NO.
				R-402A
				APPROVED BY: JF DATE: 1/2013

6 GATE
D2 NOT TO SCALE

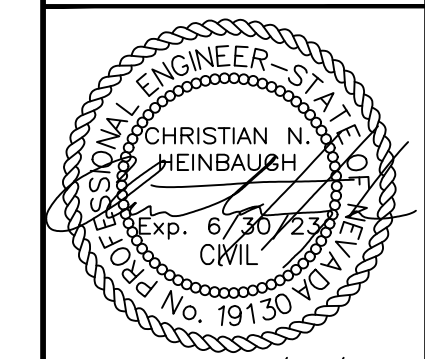


NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
				2
				DRAWING NO: 2-10
				DATE: 8-07 PAGE: 13

7 CATCH BASIN
D2 NOT TO SCALE

NO.	REVISIONS	DATE	BY

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05/03/2021
 KHA PROJECT: 192049002
 DATE: 05/03/2021
 SCALE: AS SHOWN
 DESIGNED BY: CNH
 DRAWN BY: IML
 CHECKED BY: CNH

DETAIL 02 OF 04

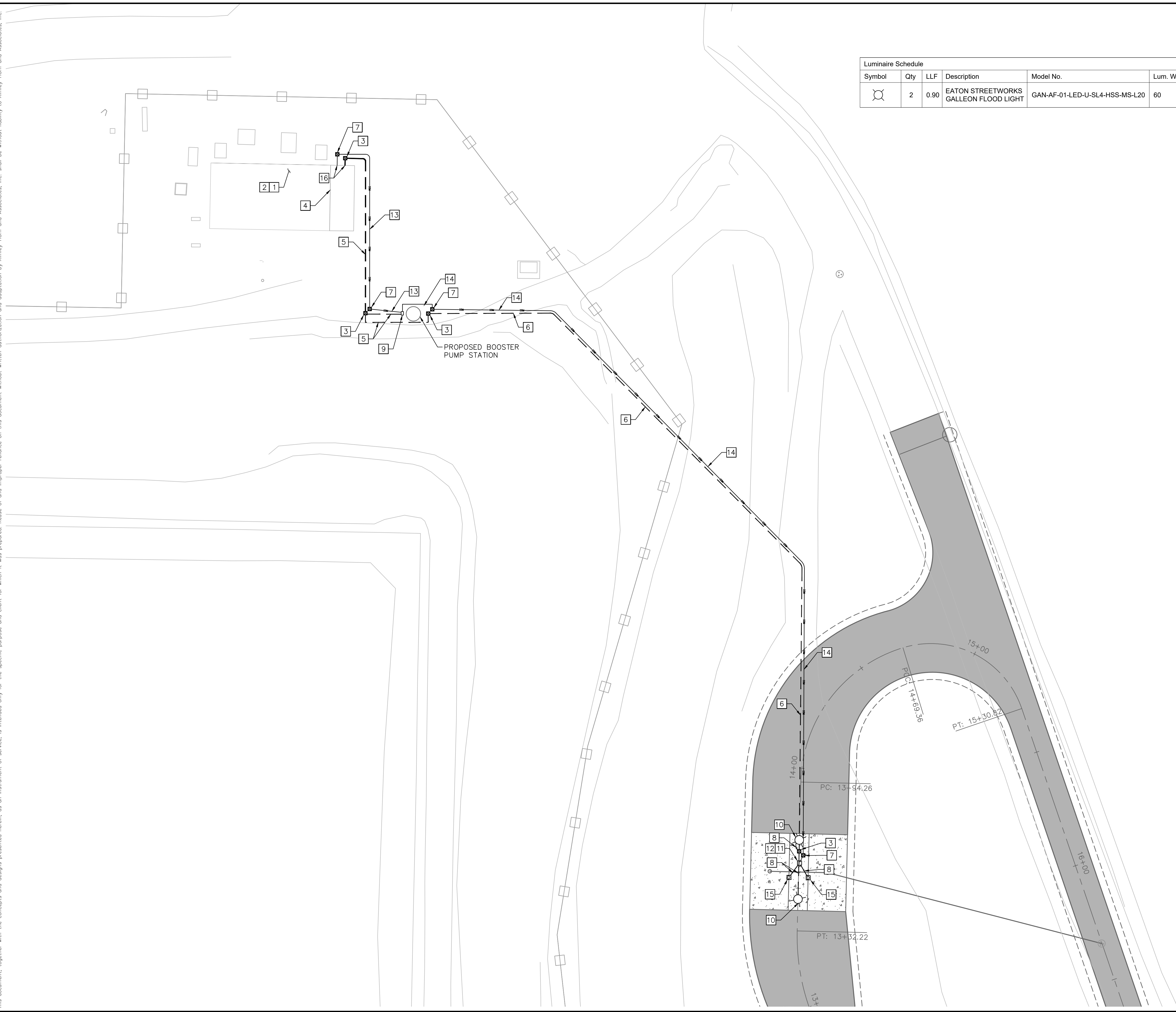
FIELD CREEK EFFLUENT FILL STATION RENO, NV

SHEET NUMBER
D2

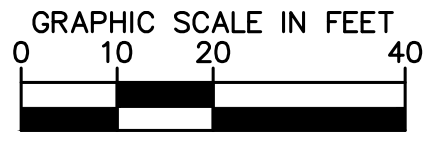
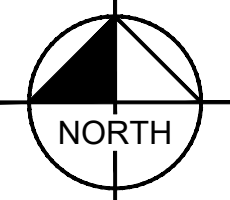


Plotted By: Patrick, Tiffany Date: April 26, 2021 01:59:27pm File Path: \\venip01\MT_REN\REN_Civil\192049 - Washoe County\02 - Field Creek Effluent Fill Station\07 CAD\Plansheets\E-Layout.dwg

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Luminaire Schedule						
Symbol	Qty	LLF	Description	Model No.	Lum. Watts	Mtg Height
	2	0.90	EATON STREETWORKS GALLEON FLOOD LIGHT	GAN-AF-01-LED-U-SL4-HSS-MS-L20	60	15'



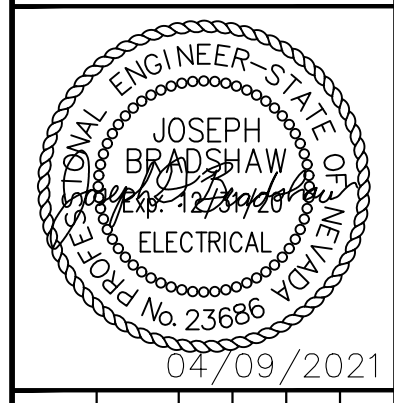
CONSTRUCTION NOTES

- 1 INSTALL NEW 480V TO 120/240V, SINGLE PHASE MINI POWER ZONE TO BE SERVICED FROM EXISTING MOTOR CONTROL CENTER B ON BREAKER SPACES CURRENTLY MARKED AS "SPACE". INSTALL (2) 20A/1P BREAKERS ON MINI POWER ZONE. SEE SHEET E2 FOR APPROXIMATE INSTALLATION LOCATION. SEE SYSTEM ONE-LINE DIAGRAM SHEET E4.
- 2 INSTALL NEW 80A/3P BREAKER ON MCC-B TO SERVICE VFD CONTROL CABINET. SEE SYSTEM ONE-LINE DIAGRAM SHEET E4.
- 3 INSTALL NEW NO. 5 POWER PULLBOX. SEE DETAIL 3 SHEET E3.
- 4 INSTALL NEW ANTENNA ON ROOF OF BUILDING FOR WIRELESS COMMUNICATION BETWEEN FMPlus SOFTWARE AND FUEL MANAGEMENT UNIT AT FILLING ISLAND. CONTROLS CONTRACTOR TO CONNECT FUEL MASTER ANTENNA TO EXISTING SCADA PANEL.
- 5 INSTALL NEW 4-2" SCH. 40 DIRECT BURIED PVC POWER CONDUIT. SEE SHEET E4 FOR CONDUIT FILL SCHEDULE.
- 6 INSTALL NEW 2-2" SCH. 40 DIRECT BURIED PVC POWER CONDUIT. SEE SHEET E4 FOR CONDUIT FILL SCHEDULE.
- 7 INSTALL NEW NO. 5 COMMUNICATIONS PULLBOX. SEE DETAIL 3 SHEET E3.
- 8 INSTALL NEW 1-2" SCH. 40 DIRECT BURIED PVC POWER CONDUIT. SEE SHEET E4 FOR CONDUIT FILL SCHEDULE.
- 9 INSTALL NEW VFD PUMP CONTROL PANEL MOUNTED ON NEW UNISTRUT RACK PER MANUFACTURER RECOMMENDATIONS. SEE SHEET E4 AND E5 FOR SYSTEM SINGLE-LINE DIAGRAM.
- 10 INSTALL NEW EATON STREETWORKS GALLEON FLOOD LIGHT WITH HOUSE-SIDE SHIELD AND OCCUPANCY SENSOR. SEE LUMINAIRE SCHEDULE THIS SHEET FOR FIXTURE INFORMATION. SEE DETAIL 1 SHEET E3 FOR FOUNDATION DETAIL.
- 11 INSTALL NEW FUEL MASTER PLUS FUEL MANAGEMENT UNIT PER MANUFACTURER RECOMMENDATIONS.
- 12 INSTALL NEW ANTENNA MOUNTED ON UNISTRUT RACK ADJACENT TO FUEL MANAGEMENT UNIT FOR WIRELESS COMMUNICATION TO FMPlus SOFTWARE AND EXISTING SCADA SYSTEM. INSTALL 12"x12"x4" NEMA 3R ENCLOSURE MOUNTED ON UNISTRUT RACK TO HOUSE FIBER MEDIA CONVERTER FOR COMMUNICATIONS CONNECTION BETWEEN THE VFD CONTROL PANEL AND FUEL MANAGEMENT UNIT. SEE SHEET E4 FOR CONTROLS DIAGRAM.
- 13 CONNECT COM 1 FROM THE PLC IN THE VFD CONTROL CABINET TO SCADA CONTROL SYSTEM IN ELECTRICAL BUILDING USING CAT-6 CABLE. CONTROLS CONTRACTOR TO INSTALL AN INTERIOR JUNCTION BOX ENCLOSURE AND OTHER EQUIPMENT AS NEEDED FOR INTEGRATING CAT-6 CABLE INTO EXISTING SCADA SYSTEM TO MAKE A COMPLETE AND OPERABLE SYSTEM. SEE SHEET E4 FOR CONTROLS DIAGRAM AND SHEET E5 FOR SYSTEM SINGLE-LINE DIAGRAM.
- 14 CONNECT COM 2 FROM THE PLC IN THE VFD CONTROL CABINET TO MASTER FUEL MANAGEMENT UNIT AT FILL STATION USING 12 STRAND MULTI-MODE FIBER OPTIC CABLE. INSTALL FIBER MEDIA CONVERTERS IN PUMP VFD ENCLOSURE AND AT FILL STATION ENCLOSURE. SEE SHEET E4 FOR CONTROLS DIAGRAM AND SHEET E5 FOR SYSTEM SINGLE-LINE DIAGRAM.
- 15 INSTALL NEW FUEL MASTER HOSE DISPENSER PER MANUFACTURER RECOMMENDATIONS.
- 16 INSTALL PVC COATED RIGID METAL CONDUIT ELBOW FOR TRANSITION OF DIRECT BURIED PVC CONDUIT TO RIGID METAL CONDUIT UP CMU BLOCK WALL. PUNCH THROUGH CMU BLOCK WALL WITH LB TO INTERIOR JUNCTION BOX. SEE SHEET E2 FOR INTERIOR CONDUIT ROUTING.

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DATE	04/09/2021
SCALE:	AS SHOWN
DESIGNED BY:	JDB
DRAWN BY:	JPT
CHECKED BY:	JDB

ELECTRICAL PLAN

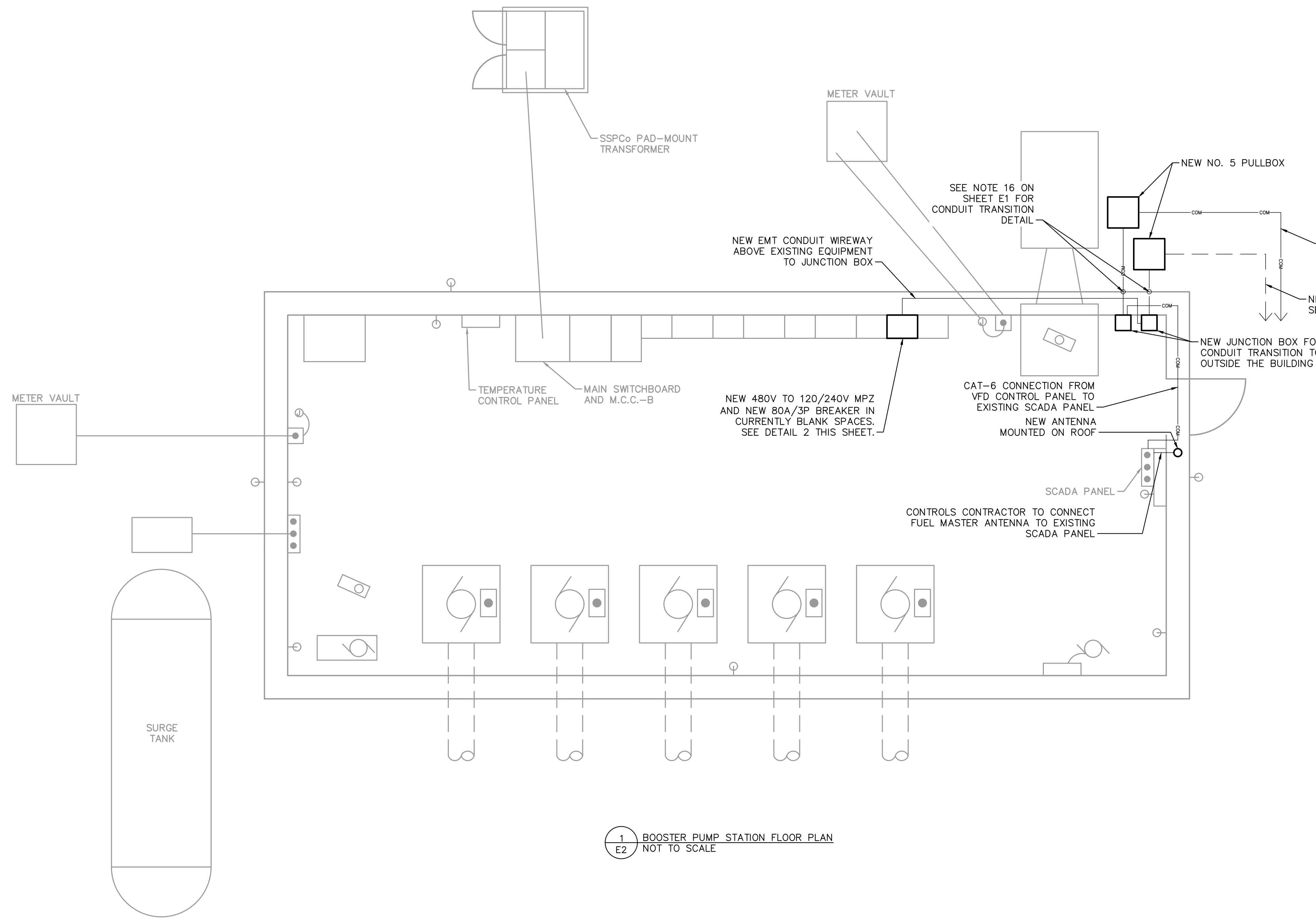
FIELD CREEK
RENO, NV

SHEET NUMBER
E1



Plotted By: Patrick, Tiffany Date: April 26, 2021 01:59:38pm File Path: \\venip01\MT_REN\REN\Civil\192049 - Washoe County\02 - Field Creek Effluent Fill Station\07 CAD\Plansheets\E-Details.dwg

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1 BOOSTER PUMP STATION FLOOR PLAN
E2 NOT TO SCALE

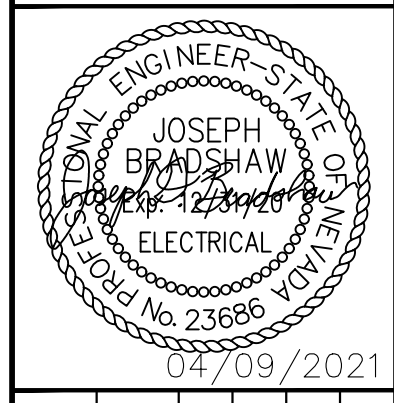


2 MOTOR CONTROL CENTER B
E2 NOT TO SCALE



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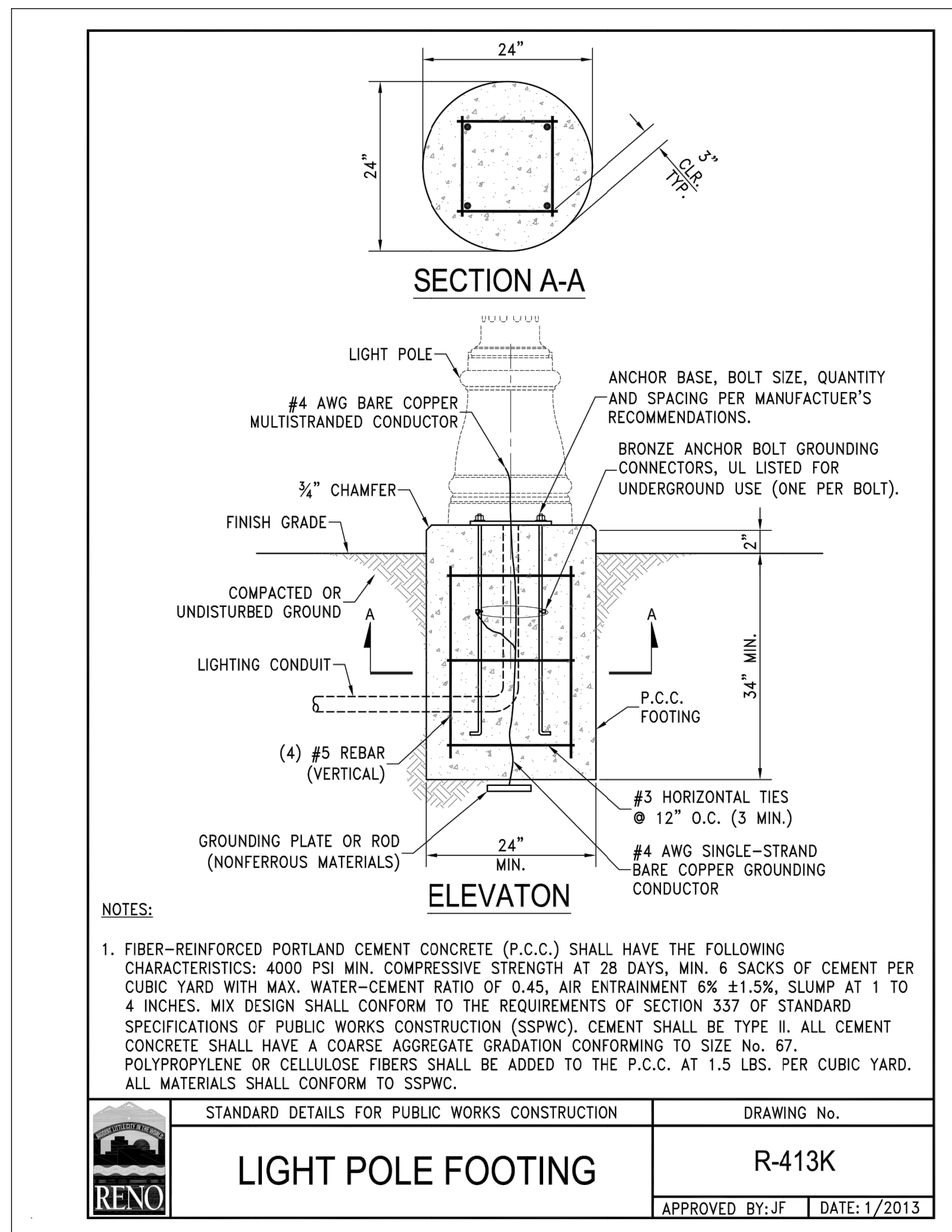
ELECTRICAL PLAN

**FIELD CREEK
RENO, NV**

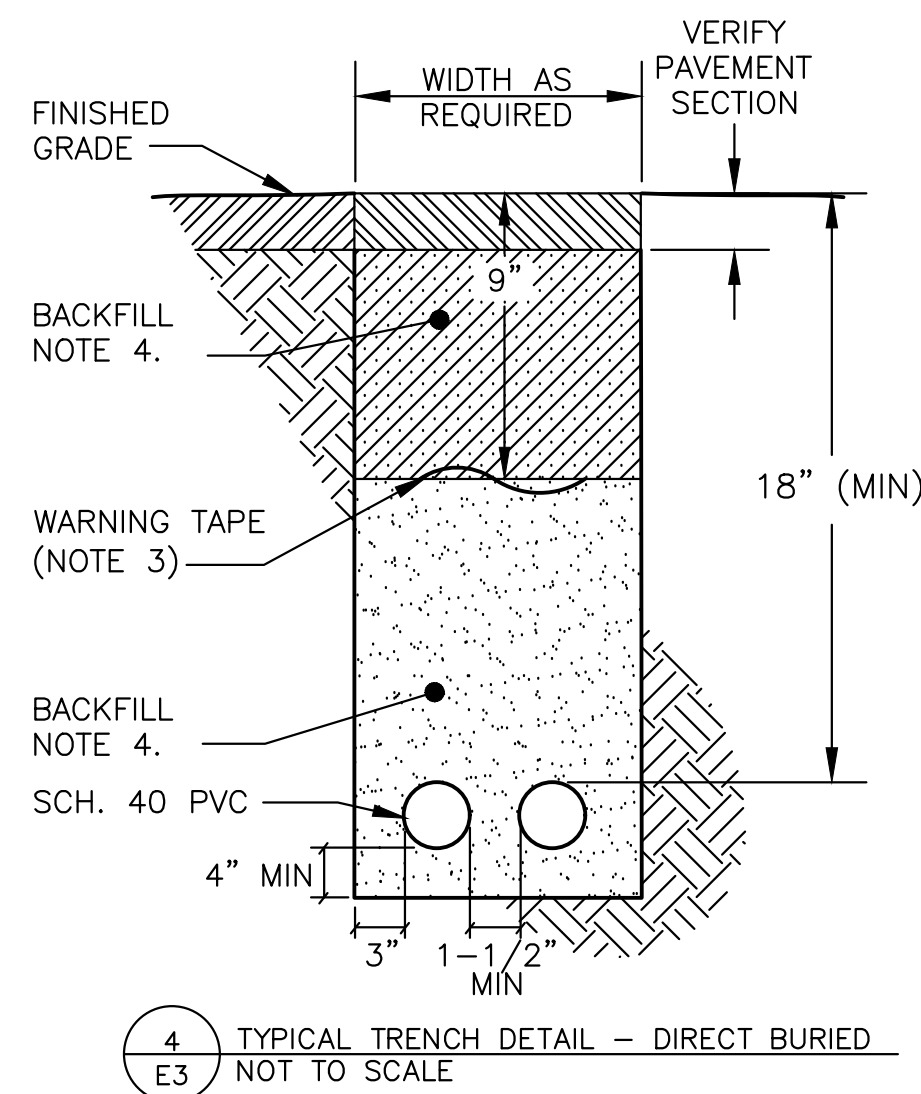
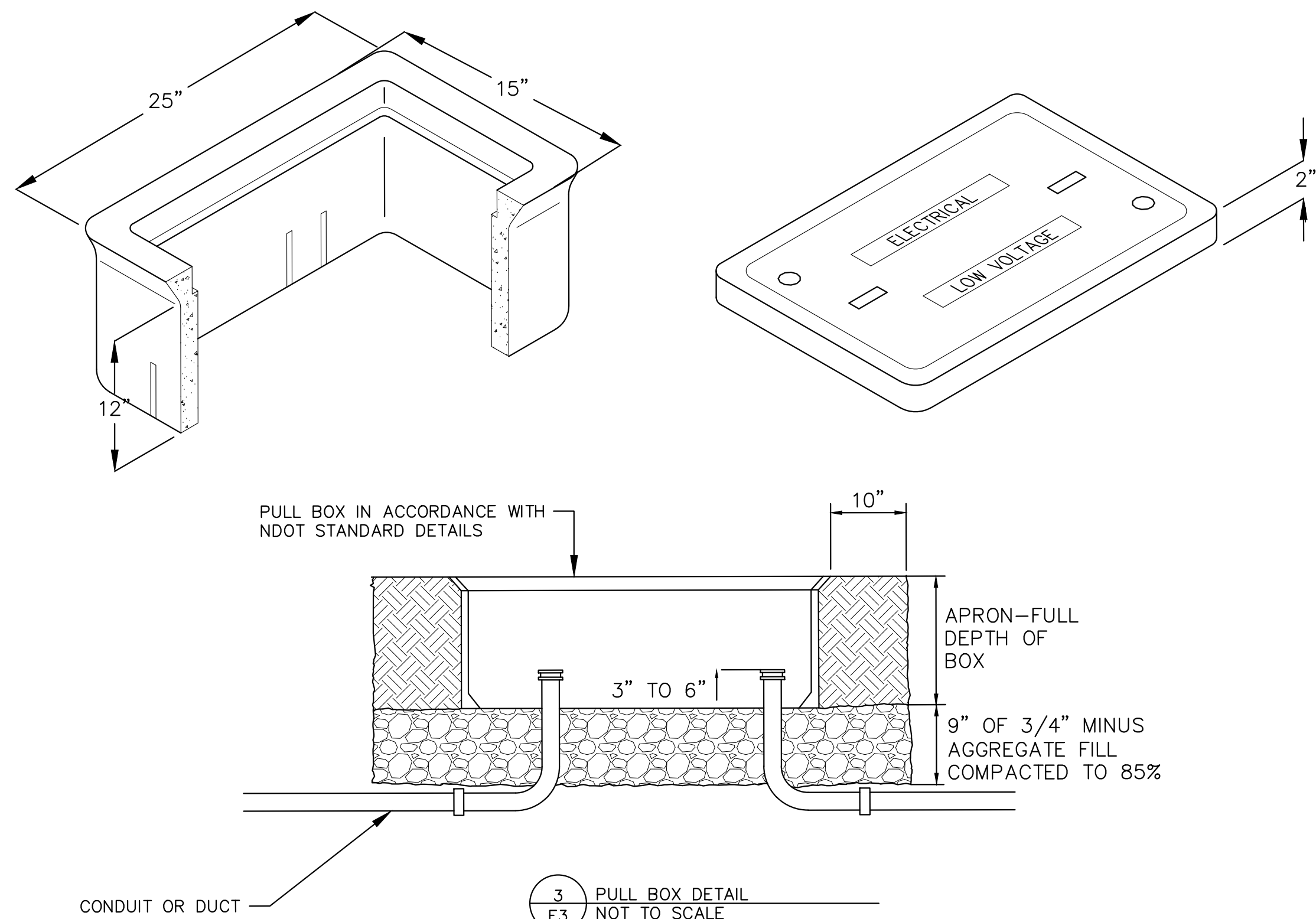
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E2

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1 LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



FuelMaster® Installation Manual

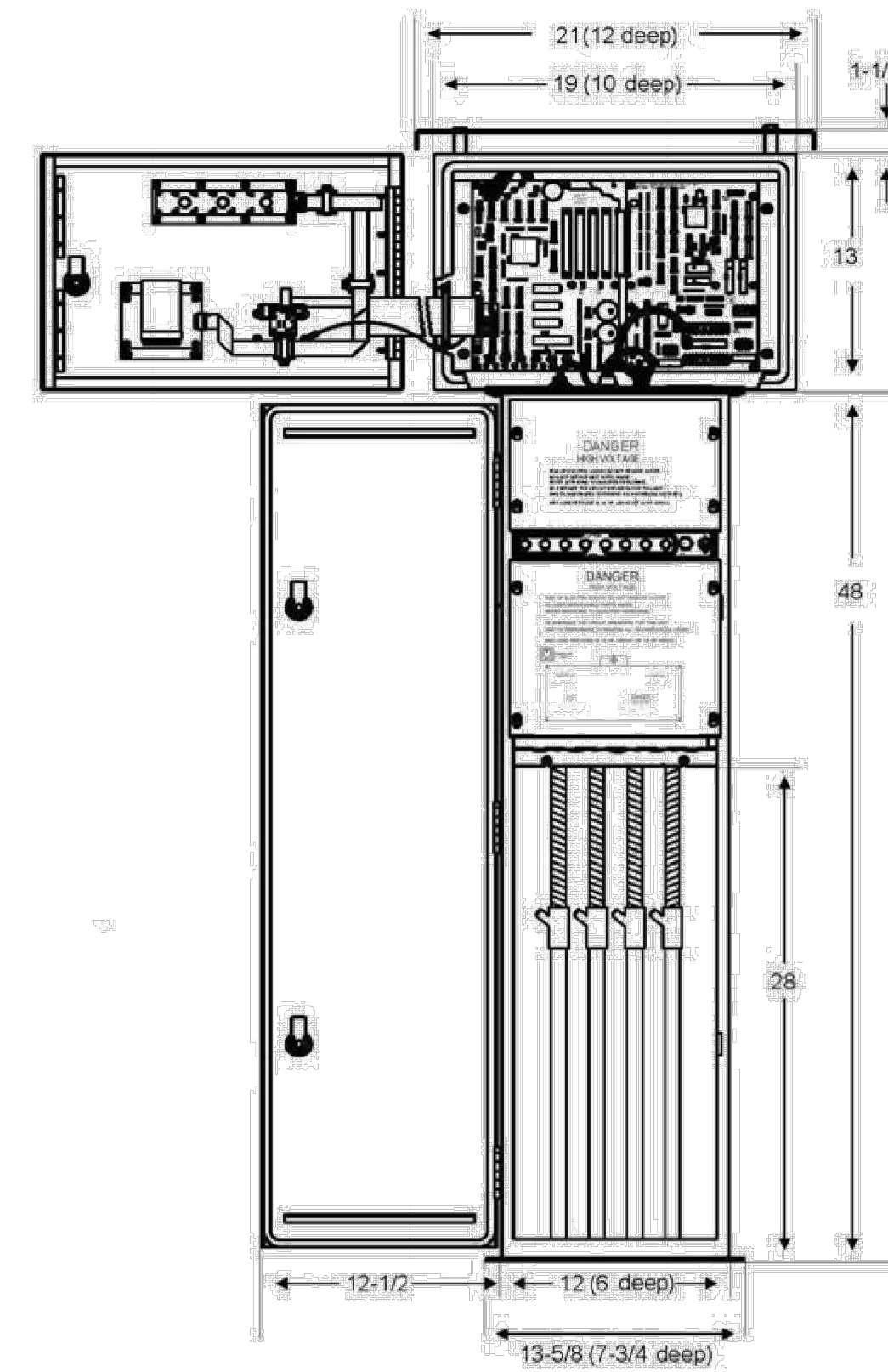


Figure 3-1. FMU Dimensions (in inches) (Full-size FMU)
38

2 FUEL MASTER UNIT DETAIL
NOT TO SCALE

NOTE: SEE FUEL MASTER FUEL MANAGEMENT UNIT (FMU) INSTALLATION MANUAL FOR MORE DETAIL AND FURTHER INSTALLATION DETAILS

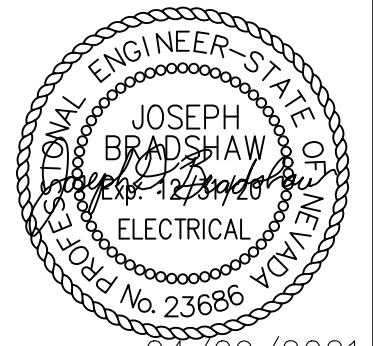
CONDUIT/DUCT & CABLE INSTALLATION NOTES:

- SEE PLANS FOR REQUIRED DUCT SECTIONS. ALL OF THE SECTIONS SHOWN ON THIS DRAWING MAY NOT BE USED ON THIS PROJECT.
- PROVIDE PULL WIRES IN ALL (NEW) UNUSED CONDUITS. PLUG CONDUIT ENDS IN HANDHOLES OR MANHOLES.
- WARNING TAPE REQUIRED IN ALL AREAS.
- BACKFILL NOTES:
D.B. APPLICATIONS: IN MULTIPLE POURS OF FLOWABLE FILL (AKA SLURRY OR CONTROLLED LOW STRENGTH MATERIAL (CLSM)). FILL TO WARNING TAPE AND THEN TO THE FINISHED GRADE OR BASE OF PAVEMENT W/ FLOWABLE FILL.



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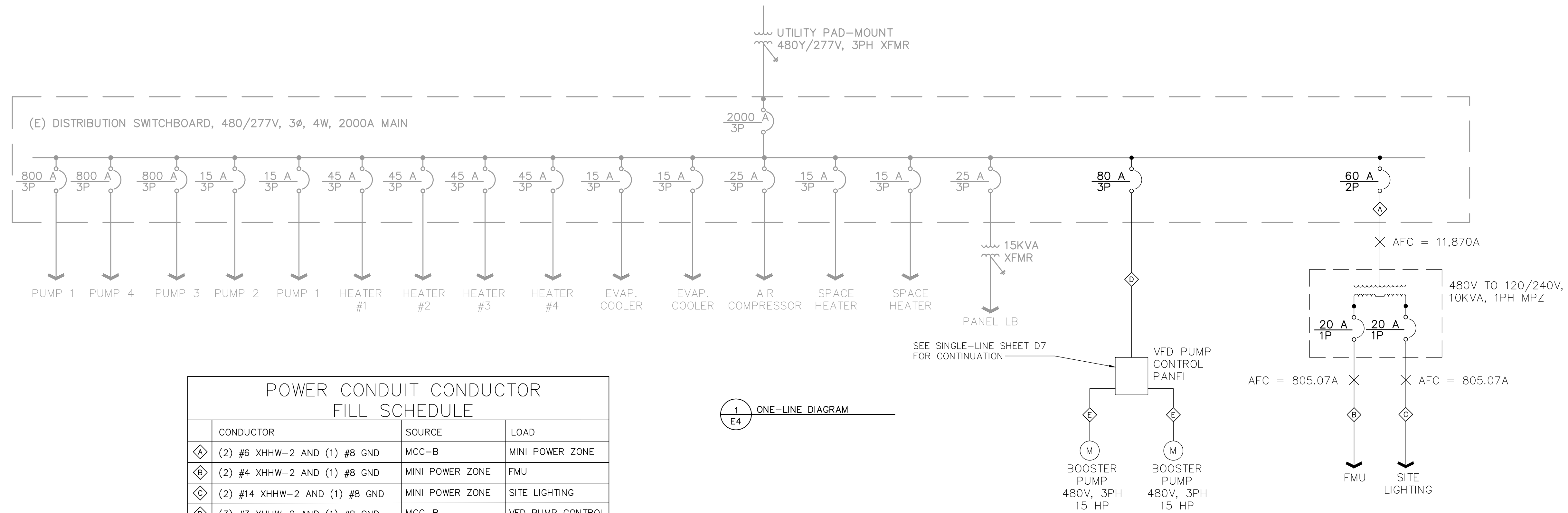
**ELECTRICAL
DETAILS**

**FIELD CREEK
RENO, NV**

SHEET NUMBER
E3

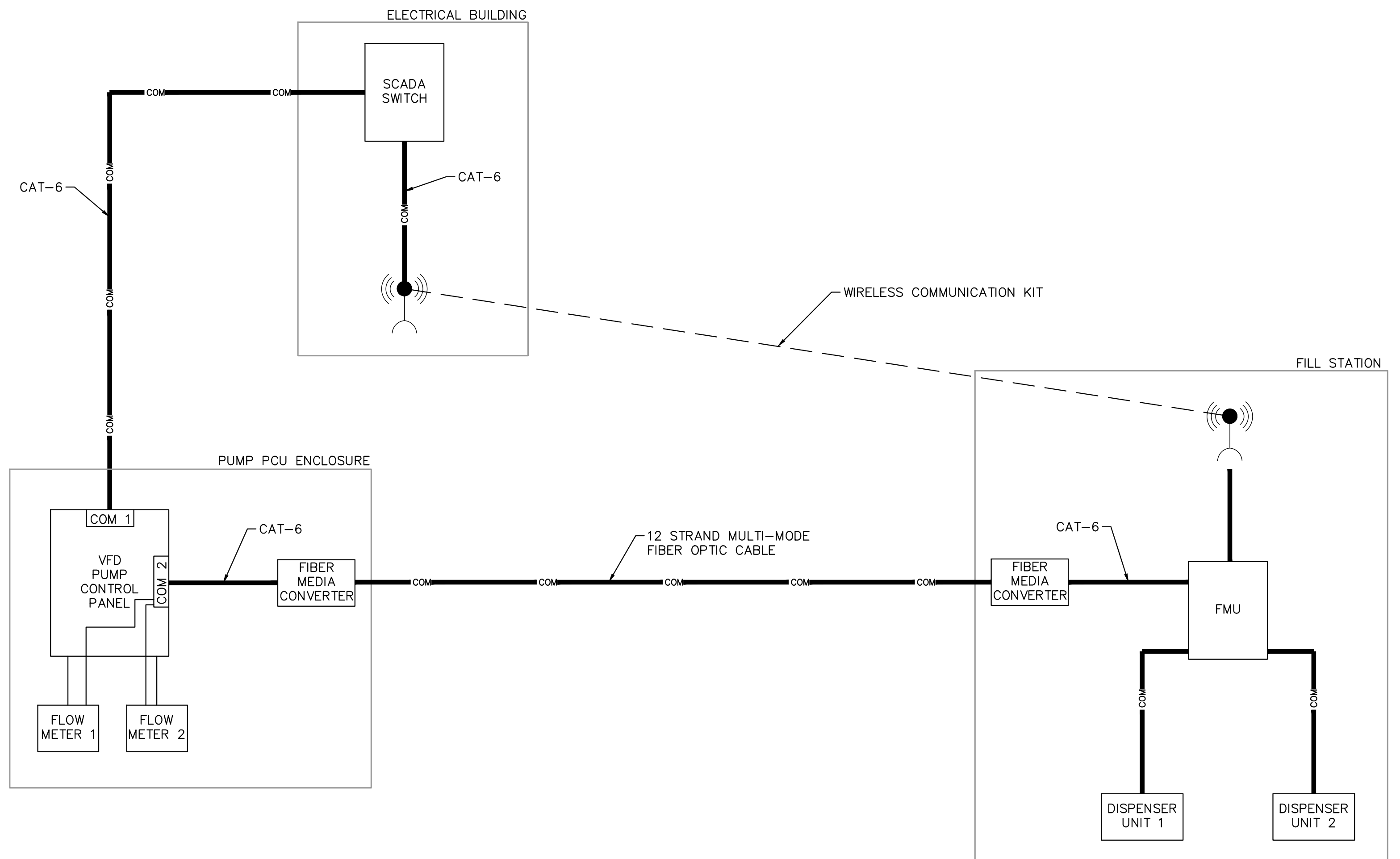
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POWER CONDUIT CONDUCTOR FILL SCHEDULE			
	CONDUCTOR	SOURCE	LOAD
⊠	(2) #6 XHHW-2 AND (1) #8 GND	MCC-B	MINI POWER ZONE
⊞	(2) #4 XHHW-2 AND (1) #8 GND	MINI POWER ZONE	FMU
⊠	(2) #14 XHHW-2 AND (1) #8 GND	MINI POWER ZONE	SITE LIGHTING
⊠	(3) #3 XHHW-2 AND (1) #8 GND	MCC-B	VFD PUMP CONTROL
⊠	(3) #8 XHHW-2 AND (1) #8 GND	VFD PUMP CONTROL	BOOSTER PUMP

NOTE: SEE MANUFACTURER DATA SHEET FOR MORE INFORMATION ON BOOSTER PUMP AND VFD CONTROL PANEL

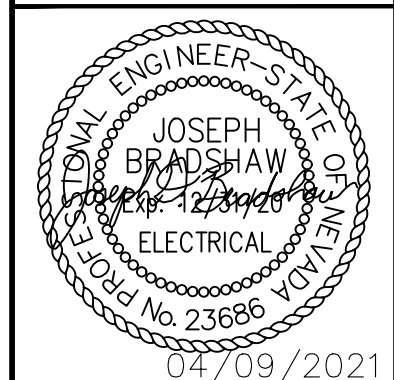


2 E4 CONTROLS DIAGRAM

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**ELECTRICAL
DETAILS**

**FIELD CREEK
RENO, NV**

SHEET NUMBER
E4



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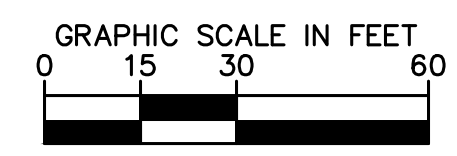
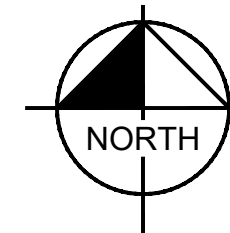
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PLANTING LEGEND

TREES			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Elaeagnus angustifolia Russian Olive	#15	3	
Fraxinus quadrangulata Blue Ash	2" Cal.	5	
Juniperus occidentalis Western Juniper	#5	14	
Juniperus scopulorum 'Pathfinder' Pathfinder Juniper	#5	6	
Juniperus scopulorum 'Wichita Blue' Wichita Blue Juniper	#5	5	
Picea pungens 'Glauca' Colorado Blue Spruce	5' High	12	
Pinus nigra Austrian Black Pine	7' High	9	
Pinus sylvestris Scots Pine	7' High	1	

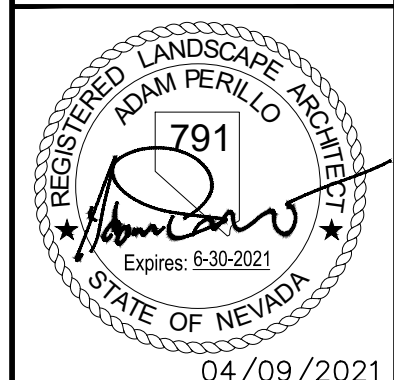
MATERIALS		
DESCRIPTION	QTY	
2' Diameter Boulders	28	
3' Diameter Boulders	33	



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LANDSCAPE PLAN

**FIELD CREEK
EFFLUENT
FILL STATION
RENO, NV**

SHEET NUMBER
L1

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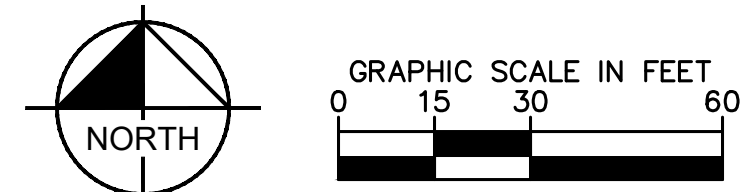
IRRIGATION LEGEND

EQUIPMENT		
SYMBOL	MANUFACTURER / DESCRIPTION	QTY
□	Flush End Cap	4
not shown	Rain Bird XBT-20-6 (1 per tree, 6 ports open)	AS REQ'D
	Rain Bird XBT-10-6 (1 per shrub, 5 ports open max)	AS REQ'D

SLEEVE SCHEDULE		
SYMBOL	DESCRIPTION	QTY
⊗	Schedule 40 PVC 2" Lateral Sleeve, Spears or Equal	50 LF
X	"X" Indicates Quantity	

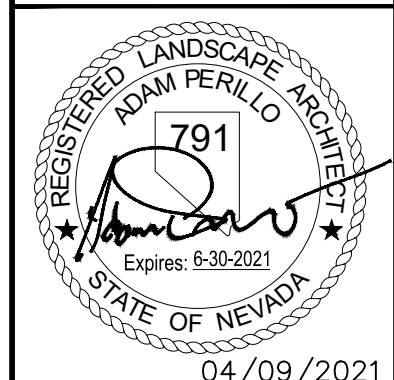
PIPE SCHEDULE			
SYMBOL	SIZE / DESCRIPTION	QTY	
— T —	1" SCH 40 PVC Tree Lateral	815 LF	
	Flow (GPM)	Pipe Size	Pipe Class
	0-5.0	1/2"	SCH 40 PVC
	5.1-10	3/4"	SCH 40 PVC
	10.1-15	1"	SCH 40 PVC

- GENERAL IRRIGATION NOTES:**
- IRRIGATION EQUIPMENT IS SHOWN DIAGRAMMATICALLY. ALL EQUIPMENT AND PIPING SHALL BE PLACED WITHIN LANDSCAPE AREAS. AVOID CONFLICTS WITH UTILITIES AND PLANT MATERIALS, TYP.
 - MULTIPLE VALVE OF THE SAME TYPE MAY BE RUN SIMULTANEOUSLY. HOWEVER, SYSTEM SHALL NOT EXCEED 12.0 GPM AT ANY GIVEN TIME.
 - ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL GOVERNING AUTHORITIES.
 - THE INTENT OF THE PLANS IS FOR THE INSTALLATION OF A COMPLETE AND WORKABLE IRRIGATION SYSTEM. PROVIDE ALL MATERIALS AND INSTALLATION TECHNIQUES NOT SPECIFICALLY NOTED BUT REASONABLY INFERRED FOR THE WORK.
 - THE PLAN IS SCHEMATIC. SOME RELOCATION OF IRRIGATION COMPONENTS MAY BE REQUIRED IN THE FIELD. VERIFY ALL CONDITIONS IN THE FIELD THAT MAY AFFECT THE WORK.
 - PROVIDE DRIP IRRIGATION TO ALL PLANT MATERIAL TO BE INSTALLED ON THE PROJECT, INCLUDING EXISTING TREES AND SHRUBS TO BE RETAINED.
 - ALL LINES AND WIRING UNDER PAVED SURFACES SHALL BE SLEEVED, SEE SPECIFICATIONS. LINES AND WIRING SHALL HAVE SEPARATE SLEEVES.
 - INSTALL ADEQUATE MANUAL DRAINS ON MAIN LINE TO PREVENT FREEZE RELATED DAMAGE. PROVIDE DRAINS WITH HOSE ON THE END OF EACH MAIN LINE TO FACILITATE REMOVAL OF WATER WITH COMPRESSED AIR.
 - SEE SPECIFICATIONS FOR ALL ASPECTS OF IRRIGATION EQUIPMENT AND INSTALLATION TECHNIQUES.



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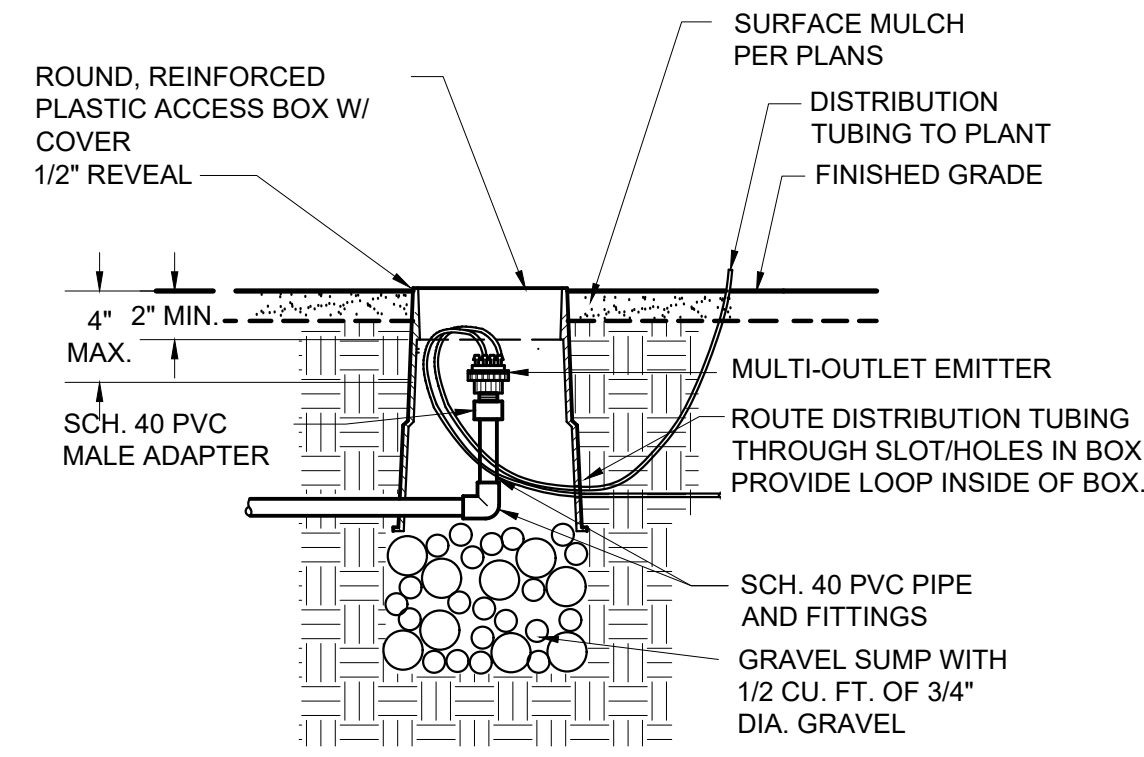
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IRRIGATION PLAN

FIELD CREEK EFFLUENT FILL STATION RENO, NV

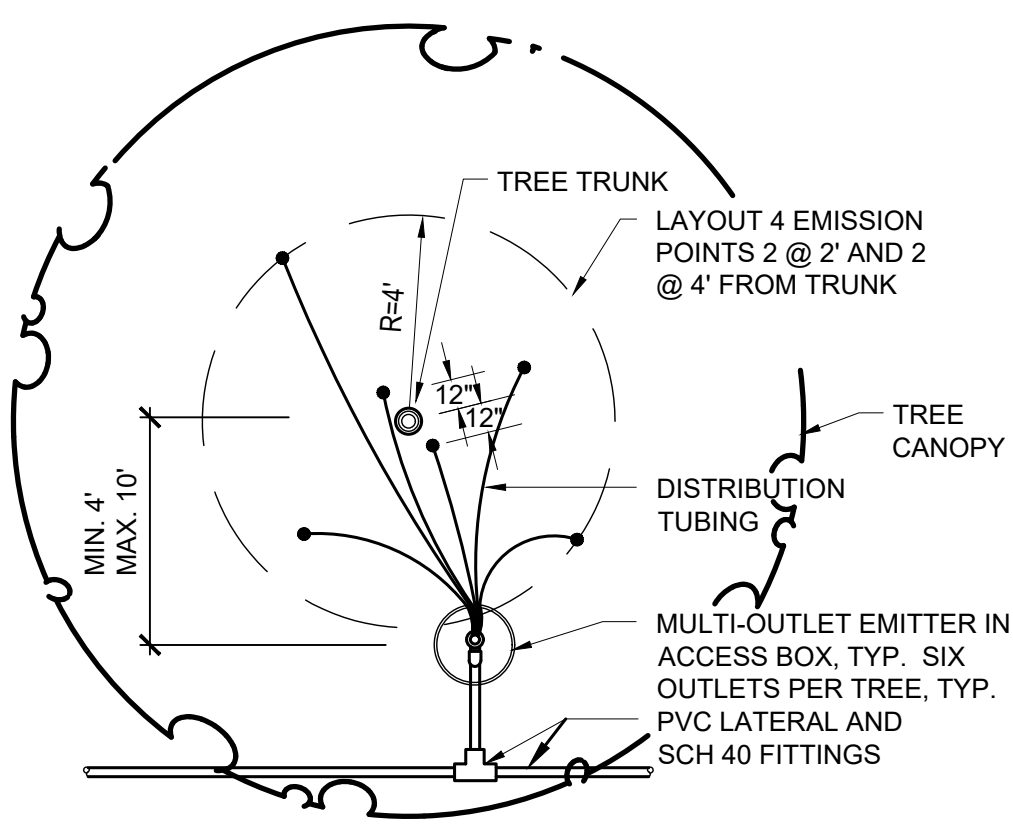
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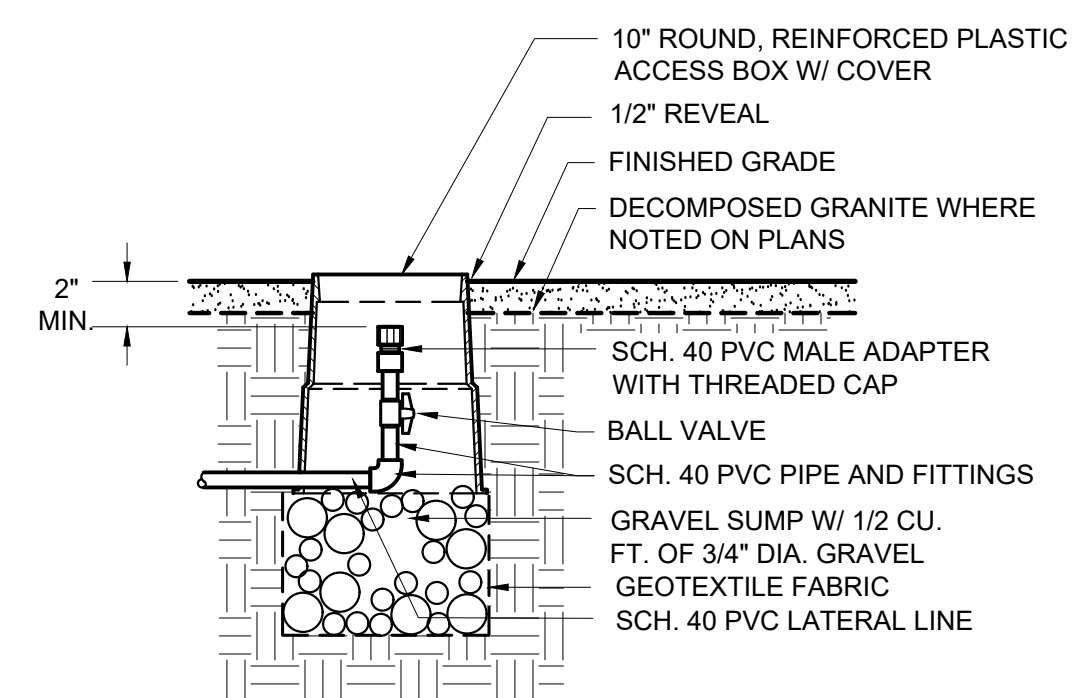


1 MULTI-OUTLET EMITTER
 SCALE: N.T.S.

NOTE:
 1. LENGTH OF DISTRIBUTION TUBING SHALL NOT EXCEED 12'-0". REFER TO LOCAL JURISDICTIONAL REQUIREMENTS; MAXIMUM ALLOWABLE LENGTH MAY BE LESS.
 2. LAYOUT DISTRIBUTION TUBING AS SHOWN AND LOCATE DISCHARGE POINT 2" ABOVE FINISHED GRADE.

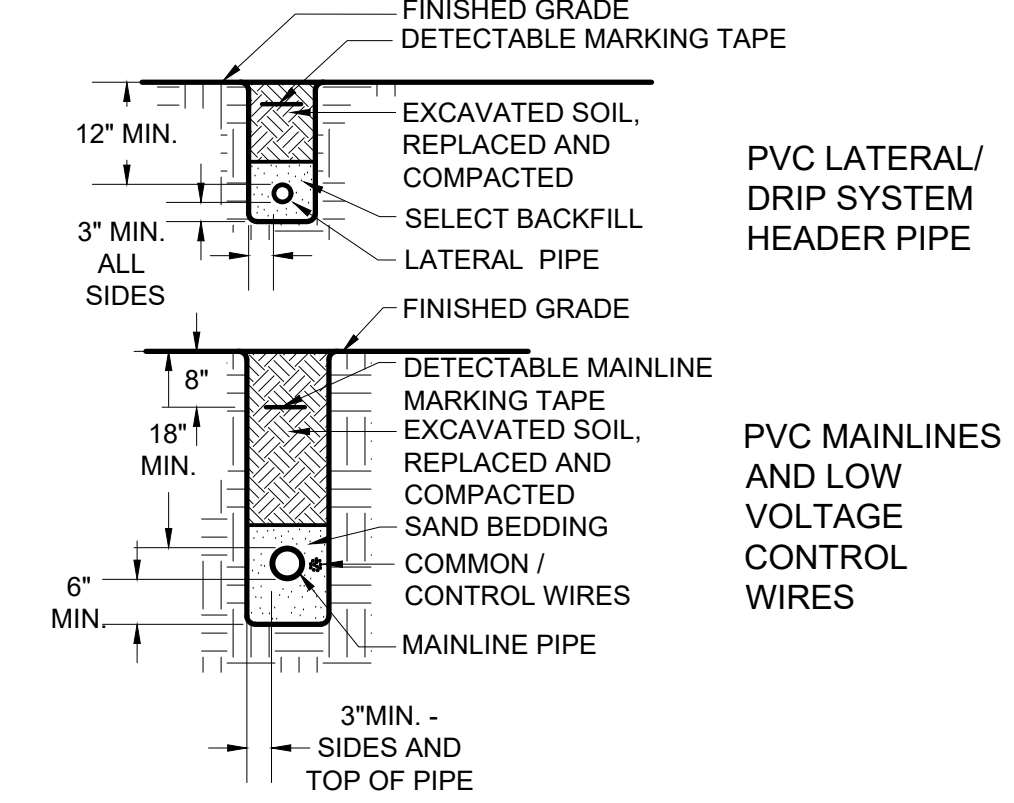


2 EMITTER DISTRIBUTION TUBING LAYOUT - TREES
 SCALE: N.T.S.

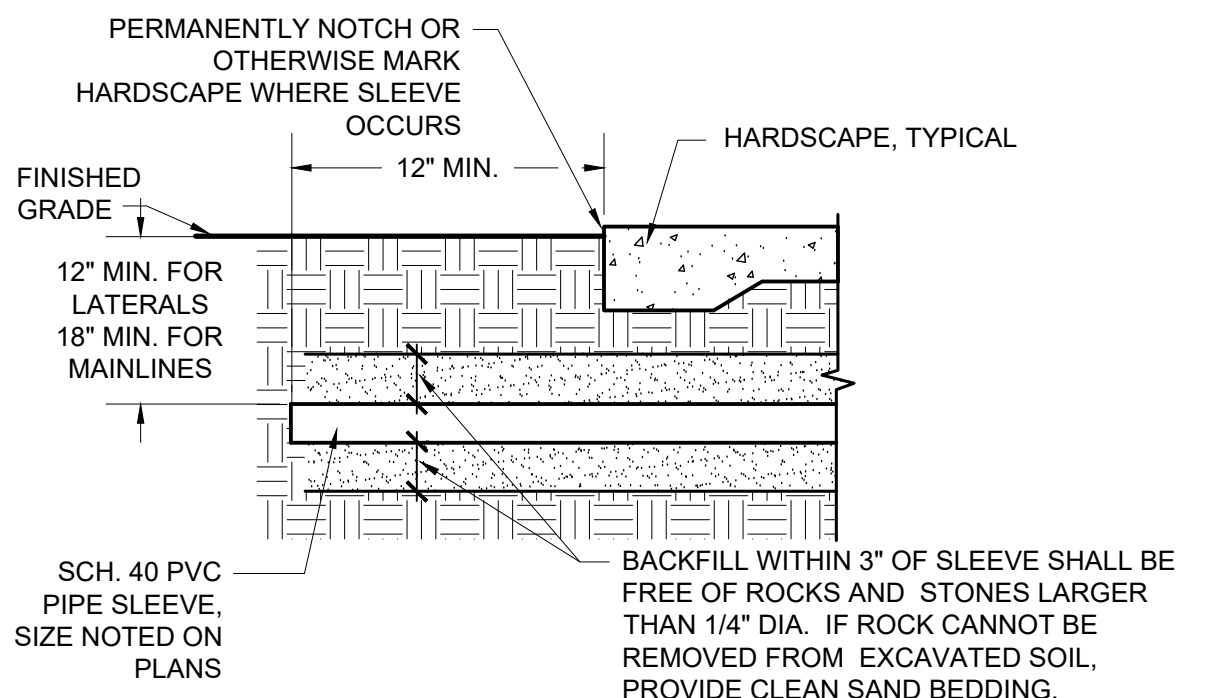


3 LATERAL FLUSHING END CAP
 SCALE: N.T.S.

NOTES:
 1. SELECT BACKFILL SHALL BE SAND OR SOIL FREE OF ROCKS AND STONES LARGER THAN 1/4" DIA.
 2. BACKFILL MATERIAL SHALL BE WATERED IN AND COMPACTED TO DENSITY OF ADJACENT UNDISTURBED SOIL.



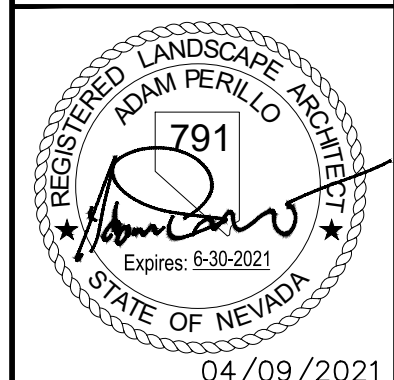
4 PIPE TRENCHING AND BACKFILL - MAINLINE, LATERALS, AND MARKING TAPE
 SCALE: N.T.S.



5 MAINLINE AND LATERAL PIPE SLEEVING
 SCALE: N.T.S.

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**IRRIGATION
 DETAILS**

**FIELD CREEK
 EFFLUENT
 FILL STATION
 RENO, NV**



SHEET NUMBER
L4

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GENERAL STRUCTURAL NOTES

DESIGN SPECIFICATION

2018 INTERNATIONAL BUILDING CODE WITH NORTHERN NEVADA AMENDMENTS

CONSTRUCTION SPECIFICATION

2012 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION REVISION 8

DESIGN LOADS

DESIGN DEAD LOAD
 SELF WEIGHT OF MATERIAL
 WEIGHT OF WATER IN PIPE - 62.4pcf

DESIGN LIVE LOAD
 THRUST OF WATER IN PIPE BEND - 1000lb

DESIGN WIND LOAD
 ULTIMATE DESIGN WIND SPEED = 120mph
 RISK CATEGORY = II
 WIND EXPOSURE = C
 DESIGN WIND PRESSURE = 32psf (STRENGTH)

DESIGN SOIL LOAD
 WEIGHT OF SOIL = 125pcf
 EQUIVALENT FLUID PRESSURE FOR ACTIVE SOIL PRESSURE = 35psf
 EQUIVALENT FLUID PRESSURE FOR AT-REST SOIL PRESSURE = 55psf
 EQUIVALENT FLUID PRESSURE FOR PASSIVE SOIL PRESSURE = 300psf
 COEFFICIENT OF FRICTION = 0.45
 ALLOWABLE SOIL BEARING PRESSURE = 2000psf

STRUCTURAL STEEL

PLATES SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE.

HSS RECTANGULAR MEMBERS SHALL CONFORM TO ASTM A500, GRADE C (50 KSI).

PROVIDE MINIMUM 1/8 INCH THICK CAP PLATE AT EXPOSED ENDS OF ALL HSS MEMBERS.

DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC CODES AND SPECIFICATIONS, INCLUDING THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS.

SHOP CONNECTIONS SHALL BE MADE BY WELDING. FIELD CONNECTIONS SHALL BE MADE WITH HIGH-STRENGTH BOLTS, EXCEPT WHERE WELDING IS INDICATED ON THE DRAWINGS. HIGH-STRENGTH BOLTS SHALL CONFORM TO ASTM DESIGNATION A325 BEARING TYPE CONNECTION WITH THREADS INCLUDED IN SHEAR PLANE UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE 3/4 INCH DIAMETER UNLESS NOTED OTHERWISE. ANY 1/2 INCH DIAMETER BOLTS SHALL CONFORM TO ASTM F593. ALL EXPOSED BOLTS SHALL BE STAINLESS STEEL.

ALL BOLTED CONNECTIONS SHALL BE SNUG-TIGHT PER RCSC (RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS) SPECIFICATIONS.

ALL WELD SIZES, NOT INDICATED SHALL COMPLY WITH THE LATEST AWS D1.1 BUT IN NO CASE SHALL WELD SIZE BE LESS THAN 3/16 INCH.

CONCRETE AND REINFORCEMENT

CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, fy = 60,000 PSI.

HOOKS AND BENDS FOR REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ACI318-14.

ALL BEND DIMENSIONS FOR REINFORCING STEEL SHALL BE OUT-TO-OUT OF BARS. ALL PLACEMENT DIMENSIONS FOR REINFORCING STEEL SHALL BE TO CENTER OF BARS UNLESS NOTED OTHERWISE.

ALL REINFORCING SHALL HAVE 2" CLEAR COVER UNLESS NOTED OTHERWISE.

ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".

SPECIAL INSPECTIONS

SPECIAL INSPECTION IS REQUIRED OF MATERIALS, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS REQUIRING SPECIAL EXPERTISE TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS.

COORDINATE SCHEDULES WITH AGENCY PERFORMING SPECIAL INSPECTION TO INSURE AMPLE TIME IS AVAILABLE TO PERFORM REQUIRED TASKS.

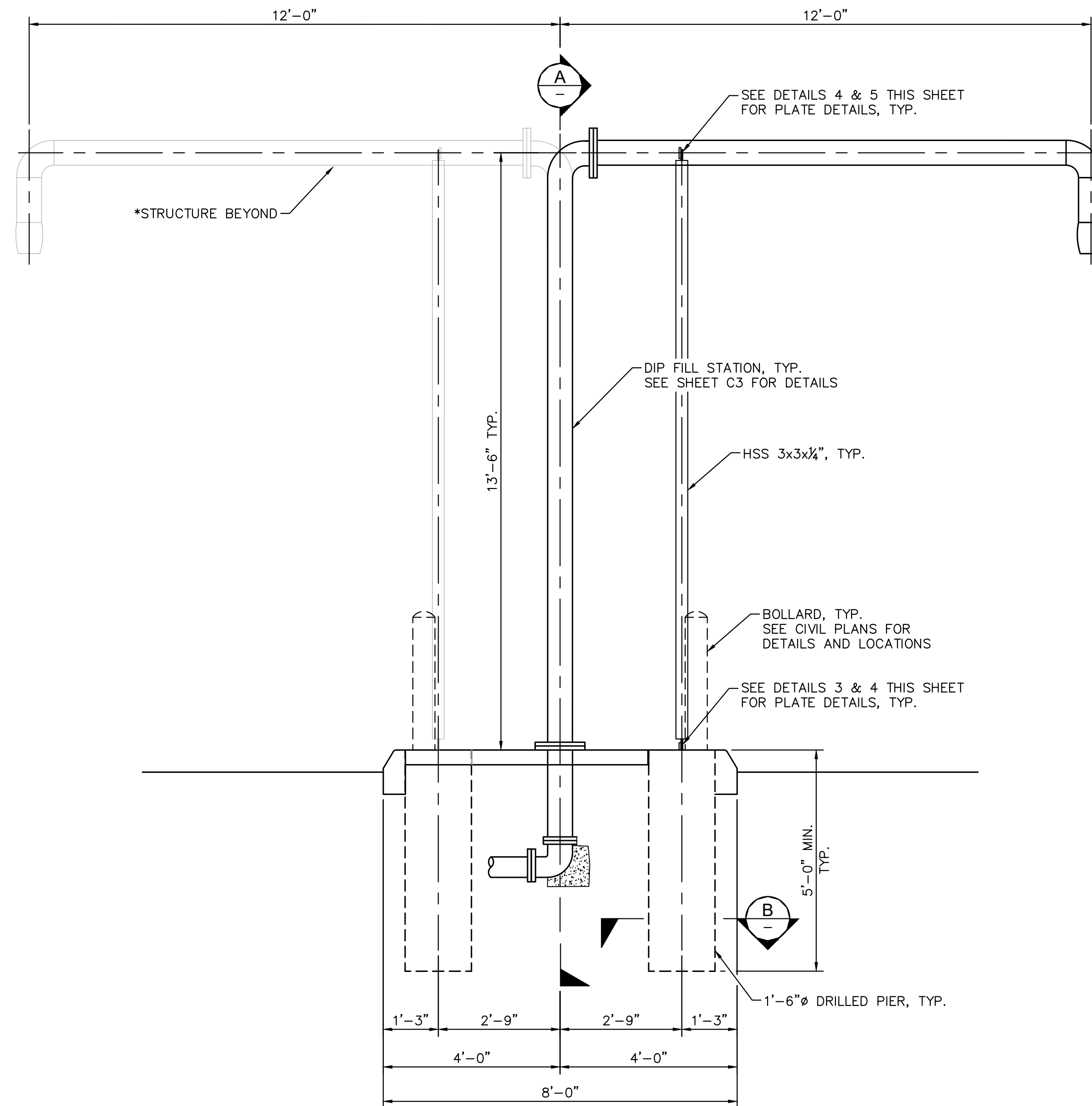
SPECIAL INSPECTIONS SHALL BE PROVIDED PER 2018 INTERNATIONAL BUILDING CODE (IBC) CHAPTER 17.

- A. STRUCTURAL STEEL AS REQUIRED BY IBC SECTION 1705.2.1
- B. CONCRETE AS REQUIRED BY IBC TABLE 1705.3

FABRICATOR SHALL SUBMIT CERTIFICATE OF COMPLIANCE STATING WORK PERFORMED WAS IN ACCORDANCE WITH APPROVED CONSTRUCTION DOCUMENTS.

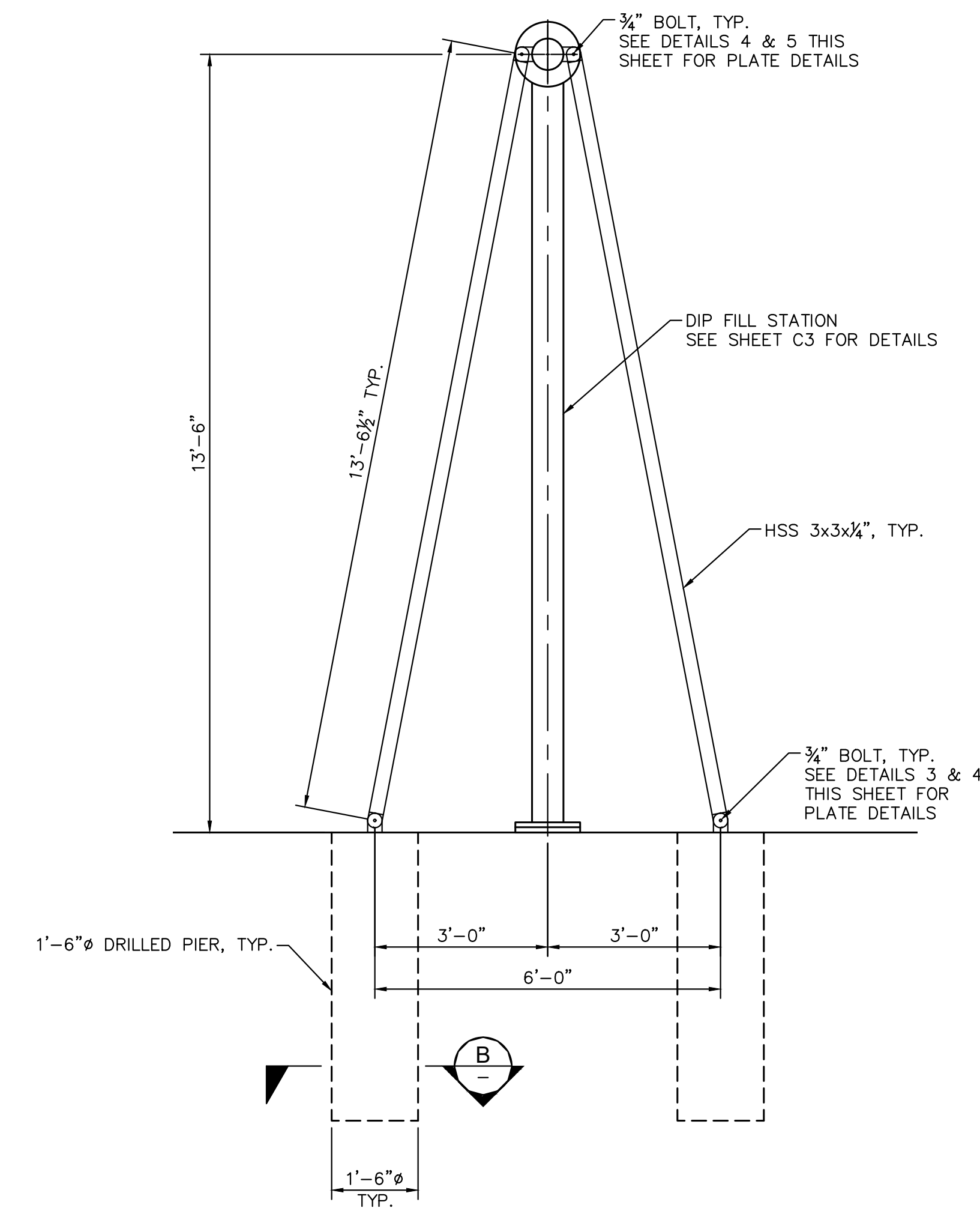
SUBMITTALS

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. ALL WELD AND BOLT CONNECTIONS MUST BE APPROVED BY THE ENGINEER.

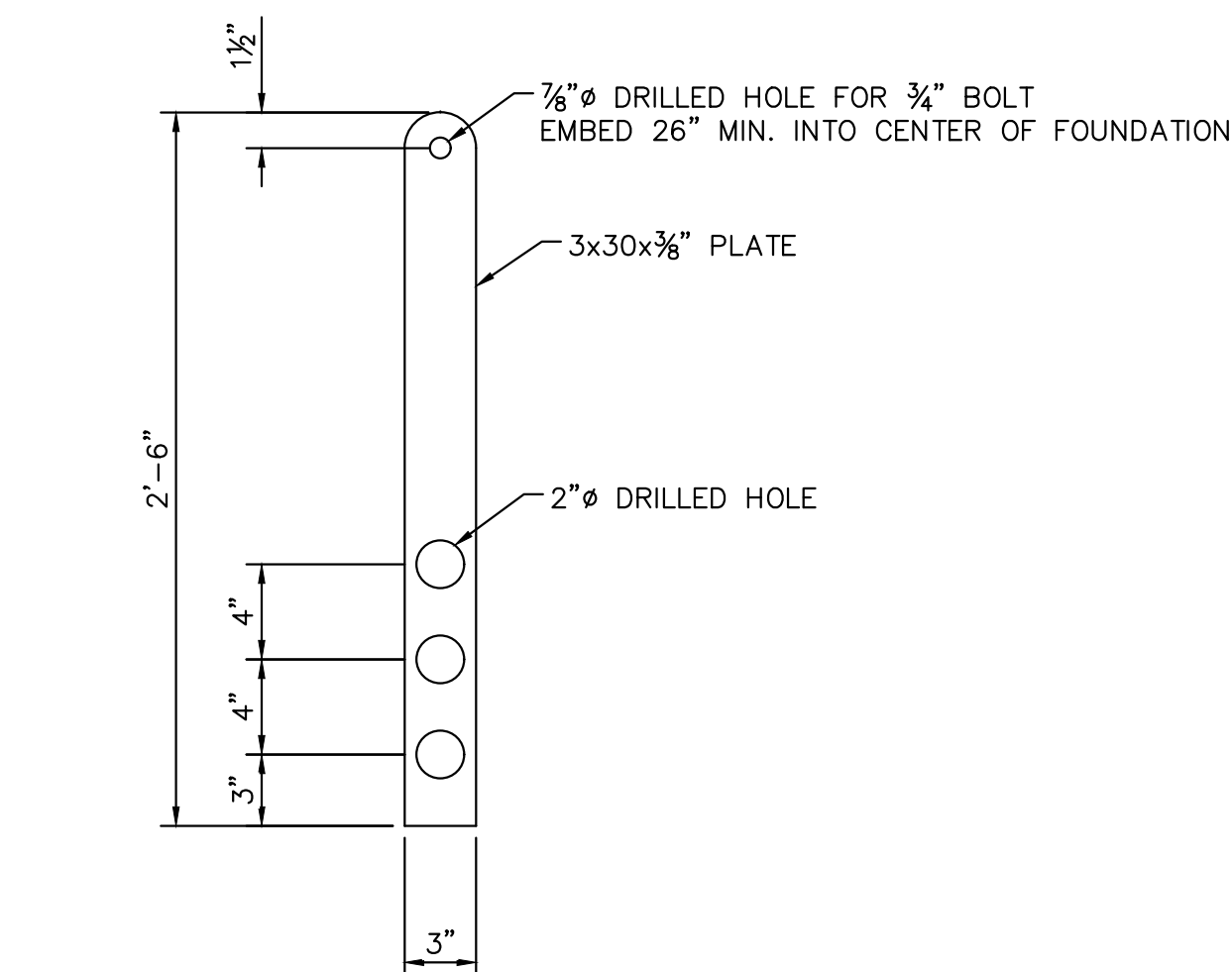


1 FILL STATION DETAILS
 SCALE: 1/2" = 1'-0"

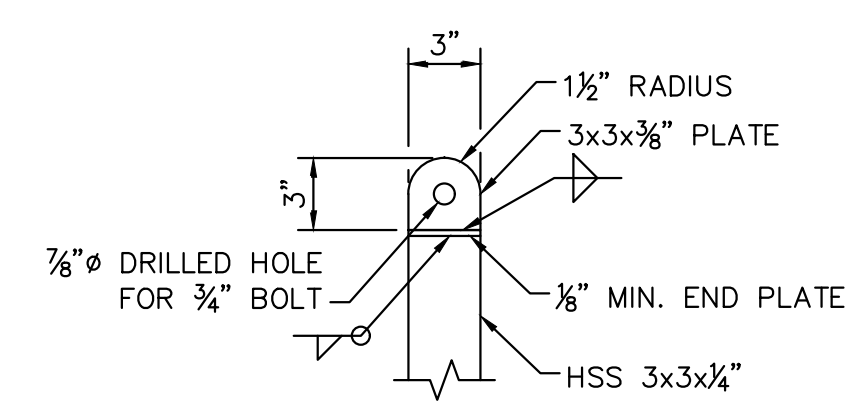
*NOTE: STRUCTURES ARE OFFSET, SEE CIVIL PLANS FOR LOCATIONS AND LAYOUT IN PLAN VIEW.



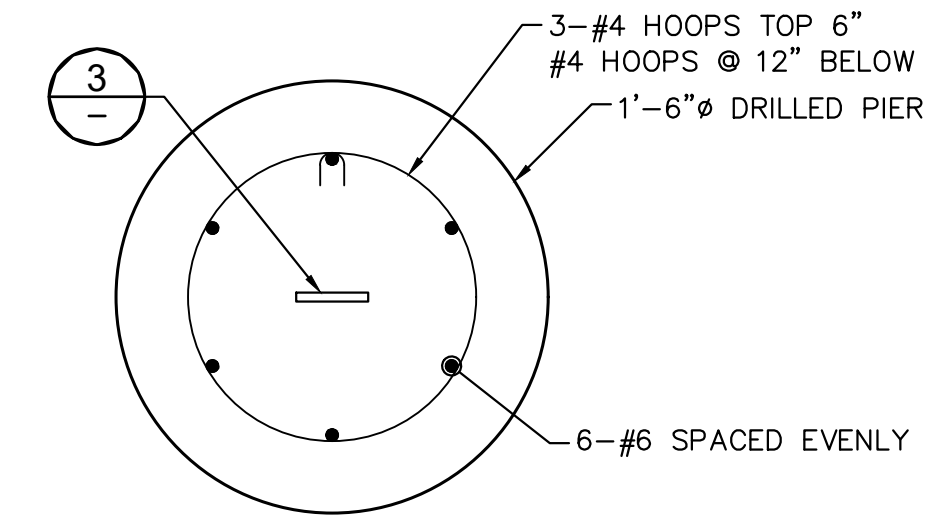
A SECTION
 SCALE: 1/2" = 1'-0"



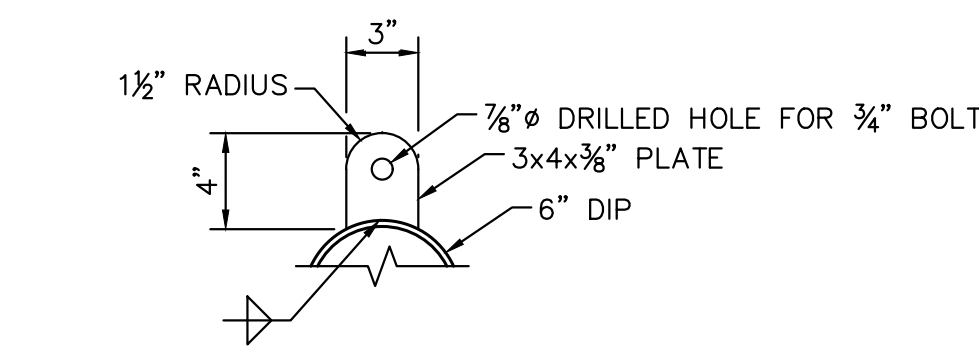
3 EMBEDDED PLATE DETAILS
 SCALE: 1/2" = 1'-0"



4 HSS END PLATE DETAIL
 SCALE: 1/2" = 1'-0"



B SECTION
 SCALE: 1/2" = 1'-0"



5 PLATE ON PIPE DETAIL
 SCALE: 1/2" = 1'-0"

No.	REVISIONS	DATE	BY

Kimley»Horn
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NATHAN L. MERRILL
 CIVIL ENGINEER
 No. 026608
 Exp. 12/31/21

KHA PROJECT	192049002
DATE	04/09/2021
SCALE:	AS SHOWN
DESIGNED BY:	M/R
DRAWN BY:	M/R
CHECKED BY:	NLM

**FILL STATION
 STRUCTURAL
 DETAILS**

**FIELD CREEK
 EFFLUENT
 FILL STATION
 RENO, NV**

SHEET NUMBER
S1

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